



Community Development Department

# AGENDA

## REGULAR MEETING OF THE PLANNING COMMISSION

**7:30 p.m.**  
**Wednesday, December 21, 2016**  
**El Cerrito City Hall**  
Council Chambers  
10890 San Pablo Avenue, El Cerrito

### **This Meeting Place Is Wheelchair Accessible**

**Roll Call** - Chair: Carla Hansen; Commissioners: Brendan Bloom, Kevin Colin, Michael Iswalt, Bill Kuhlman, Andrea Lucas, and Lisa Motoyama.

**1. Comments from the Public**

*(Each speaker is limited to a maximum of 3 minutes.)*

**2. Approval of Minutes**

Approval of the October 19, 2016 meeting minutes

**3. Commissioner Communication/Conflict of Interest Disclosure**

This time on the agenda is reserved for Commissioners to disclose communications from individuals regarding specific agenda items or to state a potential conflict of interest in relation to a specific agenda item.

**4. Public Hearing - 7302 Gladys Addition Conditional Use Permit**

Application: PL16-0108

Applicant: Heather Sanders-Jacob

Location: 7302 Gladys Avenue

Zoning: RS-5 (Single Family Residential)

Gen. Plan: Low Density Residential

Request: Planning Commission consideration of a Conditional Use Permit to allow an addition to an existing single family home which is nonconforming with regard to the amount of required parking spaces, (the property contains no off-street covered parking) pursuant to Section 19.27.050 of the El Cerrito Municipal Code.

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

**5. Staff Communications**

**6. Adjournment**

### COMMUNICATION ACCESS INFORMATION

*To request a meeting agenda in large print, Braille, or on cassette, or to request a sign language interpreter for the meeting, call Sean Moss, Staff Liaison at (510) 215-4330 (voice) at least FIVE (5) WORKING DAYS NOTICE PRIOR TO THE MEETING to ensure availability.*

10890 San Pablo Avenue, El Cerrito, CA 94530 Tel: (510) 215-4330

E-mail: smoss@ci.el-cerrito.ca.us

***Appeals:***

*A decision of the Planning Commission may be appealed to the City Council, by the applicant or any El Cerrito resident or property owner, through the filing of a written statement and the payment of an appeal fee of \$363 with the City Clerk within ten calendar days after the decision date. (The applicant may file an appeal for the cost of half the original permit fee.)*

***Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the Planning Division office located at 10890 San Pablo Avenue during normal business hours.***



Community Development Department

# MINUTES

## REGULAR MEETING OF THE PLANNING COMMISSION

7:30 p.m.  
Wednesday, October 19, 2016  
El Cerrito City Hall  
Council Chambers  
10890 San Pablo Avenue, El Cerrito

### **This Meeting Place Is Wheelchair Accessible**

**Roll Call** - Commissioners: Brendan Bloom, Michael Iswalt, Bill Kuhlman, Andrea Lucas, and Lisa Motoyama. Commissioners Carla Hansen and Kevin Colin had excused absences.

#### **1. Comments from the Public**

Howdy Goudey of 635 Elm St encouraged the Planning Commission to include inclusionary housing, just cause for eviction, and second unit ordinances on their work plan.

#### **2. Approval of Minutes**

Suspended

#### **3. Commissioner Communication/Conflict of Interest Disclosure**

Commissioner Bloom reported that he spoke to the applicants for the 534 Albemarle Avenue and El Dorado Townhomes projects, but did not discuss the projects.

#### **4. Public Hearing – Brown Residence**

Application: PL16-0107

Applicant: Mathew Brown

Location: 534 Albemarle Street

Zoning: RS-5 (Single Family Residential)

General Plan: Low Density Residential

Request: Planning Commission consideration of a Conditional Use Permit to allow for a second unit that is larger than forty percent of the square footage of the main house (ECMC Section 19.20.190.D.1), a second unit that does not meet the minimum parking requirement (ECMC Section 19.24.140) and new habitable space exceeding 2,000 square feet total for a dwelling with a one-car garage (ECMC Section 19.27.050 C. 2. a. 1. A.).

CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

### **COMMUNICATION ACCESS INFORMATION**

*To request a meeting agenda in large print, Braille, or on cassette, or to request a sign language interpreter for the meeting, call Sean Moss, Staff Liaison at (510) 215-4330 (voice) at least FIVE (5) WORKING DAYS NOTICE PRIOR TO THE MEETING to ensure availability.*

10890 San Pablo Avenue, El Cerrito, CA 94530 Tel: (510) 215-4330  
E-mail: smoss@ci.el-cerrito.ca.us

City of El Cerrito  
Planning Commission Meeting Minutes

Senior Planner, Noel Ibalio, presented the staff report and answered questions from the Commission.

The applicant, Mathew Brown, presented the project and answered questions from the Commission.

The public hearing was opened.

The public hearing was closed.

Motion to approve a Conditional Use Permit to allow for a second unit that is larger than forty percent of the square footage of the main house (ECMC Section 19.20.190.D.1), a second unit that does not meet the minimum parking requirement (ECMC Section 19.24.140) and new habitable space exceeding 2,000 square feet total for a dwelling with a one-car garage (ECMC Section 19.27.050.C.2.a.1.A.): Lucas, 2nd: Bloom

Vote:

Ayes: Bloom, Iswalt, Kuhlman, Lucas, Motoyama  
Noes: None  
Abstain: None  
Absent: Hansen, Colin

**5. Public Hearing- El Dorado Townhomes Parking Reduction**

Application: PL16-0129  
Applicant: Urban Community Partners  
Location: 5802, 5808 and 5828 El Dorado Street  
Zoning: RM (Multi-Family Residential)  
General Plan: High Density Residential  
Request: Planning Commission consideration of a Conditional Use Permit to allow a parking reduction of 6 parking spaces for 29 townhome condominium units (19.24.050, ECMC) and a Conditional Use Permit to allow an exception to the requirement for 1 parking space for each of 3 second units (Accessory Living Units) (19.20.190.H, ECMC).  
CEQA: Categorically Exempt, Section 15332, Class 32: In-Fill Development Projects

Development Services Manager, Margaret Kavanaugh-Lynch, presented the staff report and answered questions from the Commission.

The applicant, Keith McCoy, addressed the Commission and answered questions.

The public hearing was opened.

The following speakers addressed the Commission:  
Dan Hardy, El Cerrito  
Howdy Goudey, 635 Elm St

The public hearing was closed.

City of El Cerrito  
Planning Commission Meeting Minutes

Motion to approve a Conditional Use Permit to allow a parking reduction of 6 parking spaces for 29 townhome condominium units (19.24.050, ECMC) and a Conditional Use Permit to allow an exception to the requirement for 1 parking space for each of 3 second units (Accessory Living Units) (19.20.190.H, ECMC): Iswalt, 2<sup>nd</sup>: Bloom.

Vote:

Ayes: Bloom, Iswalt, Kuhlman, Lucas, Motoyama

Noes: None

Abstain: None

Absent: Hansen, Colin

**6. Staff Communications**

Staff updated the Commission about planning projects in the pipeline.

**7. Adjournment**

9:00 p.m.

DRAFT



**Community Development Department - Planning and Building Division**  
10890 San Pablo Avenue, El Cerrito, CA 94530  
(510) 215-4330 - FAX: (510) 233-5401  
planning@ci.el-cerrito.ca.us

***PLANNING COMMISSION STAFF REPORT***  
**Meeting Date: December 21, 2016**

---

**I. SUBJECT**

Application: PL16-0108  
Applicant: Heather Sanders-Jacob  
Location: 7302 Gladys Avenue  
APN: 505-070-034  
Zoning: RS-5 (Single Family Residential)  
Gen. Plan: Low Density Residential  
Request: Planning Commission consideration of a Conditional Use Permit to allow an addition to an existing single family home which is nonconforming with regard to the amount of required parking spaces, (the property contains no off-street covered parking) pursuant to Section 19.27.050 of the El Cerrito Municipal Code.  
CEQA: This project is categorically exempt from the provisions of CEQA pursuant to Section 15301 of the CEQA Guidelines, Class 1: Existing Facilities.

**II. BACKGROUND**

The house at 7302 Gladys Ave was built in 1944. It sits on a 4,800 square foot lot. The City's property file for the property refers to the original structure as a 5-room dwelling. The City's records contain no reference to covered parking (a garage or carport) on the property.

The property is situated at the corner of Gladys Avenue and Navellier Street. The house faces Gladys Avenue. To the east of the house is a long, narrow driveway which terminates at a shed building.

**III. DISCUSSION**

The applicant is requesting to renovate the existing house and to add an additional 28 square feet. As part of the project, the applicant is proposing to rebuild an existing addition to the house and to add square footage by extending an existing bathroom. In addition, the existing deck to the rear of the house would be extended. The proposed addition and renovation are located at the rear of the existing house and will not be visible from the street. The expanded deck would be located behind an existing gate at the end of the driveway. The gate would block visibility of the deck from the street.

The submitted floorplans show that the existing house contains two bedrooms and an office which would be counted as a third bedroom pursuant to the definition of 'bedroom' in the Zoning Ordinance. The applicant is not proposing to alter the number of bedrooms.

Table 19-24.A of the El Cerrito Zoning Ordinance requires two off-street parking spaces for all single-family homes which contain two or more bedrooms. Both required parking spaces must be located in a garage or carport. Since the subject property contains no covered parking, it is non-conforming with regard to the required number of off street parking spaces. Section 19.27.050 of the El Cerrito Zoning Ordinance requires a use permit for “all additions and structural alterations that enlarge or extend a nonconforming structure,” except in certain situations.

Staff notes that Section 19.27.050.C.2 of the Zoning Ordinance allows “single-family residential structure[s] [that are] legally nonconforming because two parking spaces have not been previously required by this title” to be “altered or expanded with only the one existing covered space.” That is to say that, houses that were constructed under previous versions of the Zoning Ordinance that only required one covered off-street parking space may be expanded with certain limitations. However, the City’s first zoning ordinance was adopted on October 19, 1953 and the construction of the subject house predated the first zoning ordinance by almost 10 years. Therefore, the exemption in Section 19.27.020.C.2 does not apply to this project

As part of the review of this project, planning staff visited the site and performed a survey of surrounding properties both by walking the neighborhood and reviewing aerial imagery. In order to make the findings necessary for approval, staff’s primary concern was to determine whether the property historically contained covered parking.

The property owner has stated that the existing shed on the property was constructed as a shed by the previous owner around 2008 and has never functioned as a garage. Staff’s visual inspection of the shed confirmed that there is no evidence to indicate that the structure ever functioned as a garage and the size of the structure is not sufficient to accommodate a car.

Staff’s survey of the existing neighborhood identified several other nearby homes that also do not appear to have been constructed with off-street covered parking. All of the homes on the same side of Gladys Avenue as the subject property (7304 through 7316 Gladys Avenue) were built in 1944 and do not appear to have originally contained covered parking. Two of these properties (7310 and 7314 Gladys Avenue) contain carports which appear to have been added later. Staff therefore concluded that the subject property never included either a garage or a carport.

Further, the existing property layout does not allow the property owner to add covered parking to the property. As stated above, Table 19-24.A of the Zoning Ordinance requires the provision of two covered parking spaces for the site. The existing shed blocks vehicular access to the rear of the site, making it infeasible to add a two-car garage or carport to the rear of the property. The existing driveway is also not situated in a way that can accommodate a garage or carport while satisfying the setback requirements. If a garage/carport was attached to the house, a 5-foot side setback would be required. For detached accessory structures, no side setback is required, but 6-feet of separation between structures (the house and the garage/carport) is required. Since the driveway is located adjacent to the side property line, these setbacks cannot be achieved for a structure in this location.

As stated, the project will not increase the number of bedrooms in the house and will not change the land use of the property or add additional dwelling units to the property. The project is not planned to add additional occupants to house. The existing function of the house will remain largely the same. The current off-street parking available in the driveway will not be altered and the project is not expected to increase the property’s demand for parking or impact on the availability of on-street parking. When staff visited the site, ample available on-street parking was observed. Few cars were utilizing the available on-street parking on Gladys Avenue. Although many of the homes on

Gladys Avenue do not provide off-street *covered* parking, as required, nearly all of the surrounding properties have driveways similar to the subject property that provide a minimum of one usable off-street parking space (many appear to accommodate two cars in tandem.)

#### Consistency with the General Plan

The proposed project is generally consistent with the El Cerrito General Plan and will implement the following General Plan Policies:

*LU1.1: Predominate Single-Family Use. Ensure that the existing single-family neighborhoods remain in predominantly single-family use, but including accessory units, by prohibiting incompatible uses.*

The existing land use of the property is single-family residential. The land use will not change as part of the project.

*LU1.5: Suitable Housing. Promote suitably located housing and services for all age groups within the city. Within the San Pablo Avenue Specific Plan area, allow ground floor residential development and increased land use intensity close to existing transit infrastructure to promote residential infill development and catalyze mode shift.*

The proposed project will allow renovation of the existing house and preserve its use as a single-family housing unit.

*CD1.1: Neighborhood Character. Preserve and enhance the character of existing residential neighborhoods by limiting encroachment of new buildings and activities that are out of scale and character with the surrounding uses.*

The project will add 28 square feet to the existing structure, and will preserve the building's scale and relationship to surrounding uses.

*H1.1: Encourage neighborhood preservation and housing rehabilitation of viable older housing to preserve neighborhood character and, where possible, retain a supply of very low-, low- and moderate-income units.*

The project proposes to rehabilitate an older housing unit, retaining the single-family residential land use.

#### Environmental Review

The project is Categorically Exempt under the Section 15301 – Class 1, Existing Facilities, of the California Environmental Quality Act.

#### **IV. FINDINGS**

The Planning Commission must make the following findings as outlined in Section 19.34.040 of the El Cerrito Zoning Ordinance:

- 1. The location, size, design, and operating characteristics of the proposed development will be harmonious and compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.*

The project includes the addition of 28 square feet to an existing house which does not contain covered parking. The existing house is consistent with the character of the surrounding single-family neighborhood and the proposed project will not alter the land use of the house or change its function. The addition consists of the expansion of a bathroom and a deck, only. No new bedrooms are being created. Therefore, the number of occupants is not expected to increase. The proposed project is not expected to increase the parking demand of the property or negatively impact the supply of available on-street parking. The proposed addition conforms with all development standards of the RS-5 zoning district with exception to the provision of covered off-street parking.

- 2. The location and design of the proposal will provide a convenient and functional living, working, shopping, or civic environment that will be an attractive amenity for the City.*

The project will allow the property to remain as a single-family home which meets the needs of the property owners and inhabitants and provides a functional living environment.

- 3. The proposal is consistent with the purpose of the district where it is located and conforms in all significant respects with the El Cerrito General Plan and with any other applicable plan adopted by the City Council.*

The project complies with all development standards of the RS-5 zoning district with exception to the provision of off-street parking. The project is also consistent with the following policies of the El Cerrito General Plan: LU1.1: Predominant Single-Family Use, LU1.5: Suitable Housing; CD1.1: Neighborhood Character, and Housing Element policy H1.1.

## **V. RECOMMENDATION**

Staff recommends approval of Planning Application No. PL16-0108, as conditioned by the draft resolution in Attachment 1, approving a Conditional Use Permit to allow an addition to an existing single family home which is nonconforming with regard to the amount of required parking spaces.

**Proposed Motion:** Move adoption of Planning Commission Resolution PC16-11 approving a Conditional Use Permit to allow an addition to an existing single family home which is nonconforming with regard to the amount of required parking spaces.

**Appeal Period:** Within ten (10) working days after the date of the decision, the Planning Commission action may be appealed to the City Council.

### **Attachments:**

- 1) Draft Resolution
- 2) Plans dated October 6, 2016

**Planning Commission Resolution PC16-11**

**APPLICATION NO. PL16-0108**

A RESOLUTION OF THE CITY OF EL CERRITO PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT TO ALLOW AN ADDITION TO AN EXISTING SINGLE FAMILY HOME WHICH IS NONCONFORMING WITH REGARD TO THE AMOUNT OF REQUIRED PARKING SPACES AT 7302 GLADYS AVENUE.

WHEREAS, the subject property is located at 7302 Gladys Avenue;

WHEREAS, the Assessor's Parcel Number of the subject property is 505-070-034;

WHEREAS, the zoning district of the site is RS-5 (Single Family Residential);

WHEREAS, the General Plan land use designation of the site is Low Density Residential;

WHEREAS, this project is Categorically Exempt from the provisions of the California Environmental Quality Act pursuant to Section 15301: Class1, Existing Facilities;

WHEREAS, the existing house was built in 1944;

WHEREAS, no off-street covered parking exists on the property;

WHEREAS, on August 18, 2016, the applicant submitted an application for a Conditional Use Permit to allow the expansion of a non-conforming structure; and

WHEREAS, on December 21, 2016, the Planning Commission of El Cerrito, after due consideration of all evidence and reports offered for review, does find and determine the following:

1. The project includes the addition of 28 square feet to an existing house which does not contain covered parking. The existing house is consistent with the character of the surrounding single-family neighborhood and the proposed project will not alter the land use of the house or change its function. The addition consists of the expansion of a bathroom and a deck, only. No new bedrooms are being created. Therefore, the number of occupants is not expected to increase. The proposed project is not expected to increase the parking demand of the property or negatively impact the supply of available on-street parking. The proposed addition conforms with all development standards of the RS-5 zoning district with exception to the provision of covered off-street parking.
2. The project will allow the property to remain as a single-family home which meets the needs of the property owners and inhabitants and provides a functional living environment.
3. The project complies with all development standards of the RS-5 zoning district with exception to the provision of off-street parking. The project is also consistent with the following policies of the El Cerrito General Plan: LU1.1: Predominant Single-Family Use, LU1.5: Suitable Housing; CD1.1: Neighborhood Character, and Housing Element policy H1.1.

NOW, THEREFORE, BE IT RESOLVED, that after careful consideration of maps, facts, exhibits,

correspondence, and testimony, and other evidence submitted in this matter, and, in consideration of the findings, the El Cerrito Planning Commission hereby approves Application No. PL16-0108, subject to the following conditions:

1. The project will be constructed substantially in conformance with the plans dated October 6, 2016. Minor changes may be approved by the Zoning Administrator. All improvements shall be installed in accordance with these approvals. Once constructed or installed, all improvements shall be maintained as approved.
2. If Applicant constructs buildings or makes improvements in accordance with these approvals, but fails to comply with any of the Conditions of Approval or limitations set forth in these Conditions of Approval and does not cure any such failure within a reasonable time after notice from the City of El Cerrito, then such failure shall be cause for nonissuance of a certificate of occupancy, revocation or modification of these approvals or any other remedies available to the City.
3. These Conditions of Approval shall apply to any successor in interest in the property and Applicant shall be responsible for assuring that the successor in interest is informed of the terms and conditions of this approval.
4. If not used, this Conditional Use Permit shall expire two years from the date of this action.

### **CERTIFICATION**

---

I CERTIFY that this resolution was adopted by the El Cerrito Planning Commission at a regular meeting held on December 21, 2016 upon motion of Commissioner \_\_\_\_, second by Commissioner \_\_\_\_:

AYES:

NOES:

ABSTAIN:

ABSENT:

---

Sean Moss, AICP  
*Senior Planner*

**PROJECT DATA:**

ADDRESS: 7302 GLADYS AVENUE  
EL CERRITO, CA 94530

PROJECT DESCRIPTION: THIS PROJECT CONSISTS OF A KITCHEN AND BATHROOM REMODEL: A 28 S.F. ADDITION TO THE REAR AND CHANGE IN ROOF LINE, INCLUDING NEW PLUMBING AND LIGHTING FIXTURES, ELECTRICAL AND PLUMBING THROUGHOUT AREA OF WORK; NEW WINDOWS IN THE AREA OF WORK; INCIDENTAL WORK ELSEWHERE AS REQUIRED BY THE RENOVATION/ ADDITION WORK. MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE PERFORMED AS DESIGN-BUILD UNDER SEPARATE PERMITS.

ASSESSOR'S PARCEL NUMBER: 505 0700342

ZONING: RS-5 (RESIDENTIAL, SINGLE FAMILY, MIN. 5,000 SF LOT)

OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: V-B (WOOD FRAME & SIDING W/ ASPHALT SHINGLE, OVER NON-HABITABLE BASEMENT)

PROJECT INFORMATION TABLE	
LOT AREA:	4619 S.F.
EXISTING HOUSE AREA:	1160 S.F.
PROPOSED HOUSE AREA:	1208 S.F.
AREA OF ADDITION:	28 S.F.
AREA OF WORK:	353 S.F.
AREA OF PROPOSED DECK ADDITION:	216 S.F.
EXISTING LOT COVERAGE:	.31
PROPOSED LOT COVERAGE:	.31
EXISTING BUILDING HEIGHT:	19'-2"
PROPOSED BUILDING HEIGHT:	19'-2"
EXISTING NUMBER OF PARKING SPACES:	0
PROPOSED NUMBER OF PARKING SPACES:	0
EXISTING PERCENTAGE OF SITE COVERED WITH IMPERVIOUS SURFACES:	2234 S.F.
PROPOSED PERCENTAGE OF SITE COVERED WITH IMPERVIOUS SURFACES:	2234 S.F.
LOT SLOPE:	10%
EXISTING STORIES:	1
PROPOSED STORIES:	UNCHANGED

APPLICABLE CODES: 2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA RESIDENTIAL CODE  
2013 CALIFORNIA ENERGY CODE  
2013 CALIFORNIA GREEN CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA EXISTING BUILDING CODE

AND RELEVANT LAWS OR ORDINANCES OF THE CITY OF EL CERRITO

**DRAWING INDEX:**

A0.1 GENERAL INFORMATION  
A0.2 MECHANICAL, ELECTRICAL & PLUMBING SYMBOLS & NOTES; PHOTOS  
A0.3 T.24 ENERGY CALCULATIONS  
A0.4 T.24 ENERGY CALCULATIONS  
A1.0 SITE/ROOF PLAN  
A1.1 EXISTING/ DEMOLITION PLAN & PROPOSED PLAN  
A1.2 REFLECTED CEILING & POWER PLANS  
A2.1 EXTERIOR ELEVATIONS (EXISTING/DEMOLITION)  
A2.2 EXTERIOR ELEVATIONS (PROPOSED)  
A3.1 SECTIONS  
A5.1 DETAILS  
A6.1 SCHEDULES (WINDOW, PLUMBING FIXTURE, & BATH ACCESSORY)  
A6.2 SCHEDULES (FINISHES, LIGHTING & EQUIPMENT)

S-1 GENERAL STRUCTURAL NOTES  
S-2 TYPICAL SHEAR WALL SCHEDULES & DETAILS  
S-3 TYPICAL SEISMIC RETROFIT DETAILS  
S-4 LOWER LEVEL PLAN & DETAILS  
S-5 FLOOR FRAMING PLAN & DETAILS  
S-6 ROOF FRAMING PLAN & DETAILS

**PROJECT DIRECTORY:**

OWNER: CYNTHIA WILLIAMS & CORIE RALSTON  
7302 GLADYS AVE.  
EL CERRITO, CA 94530  
T: 510.970.7503  
E: cwilliamsnm@earthlink.net

ARCHITECT: SHELTERWERKES ARCHITECTURE  
1629 TELEGRAPH AVE., STE. 500  
OAKLAND, CA 94612  
T: 510.595.3836  
CONTACT: HEATHER SANDERS-JACOB  
E: heather@shelterwerkes.com

STRUCTURAL ENGINEER: RALPH HUESTON KRATZ, STRUCTURAL ENGINEER  
724 McLAUGHLIN STREET  
RICHMOND, CA 94805  
CONTACT: RALPH KRATZ  
T: 510.918.2256  
E: ralphkratz@gmail.com

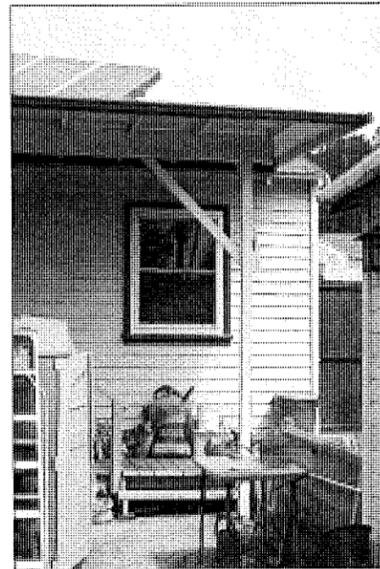
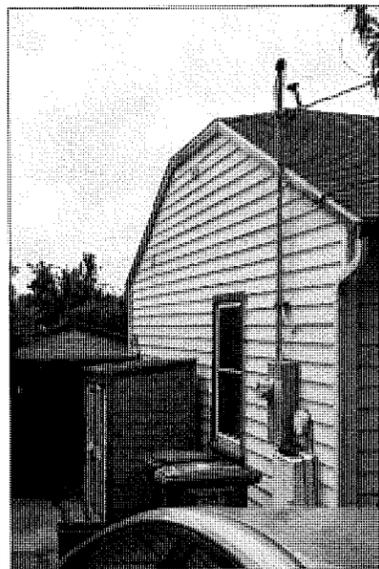
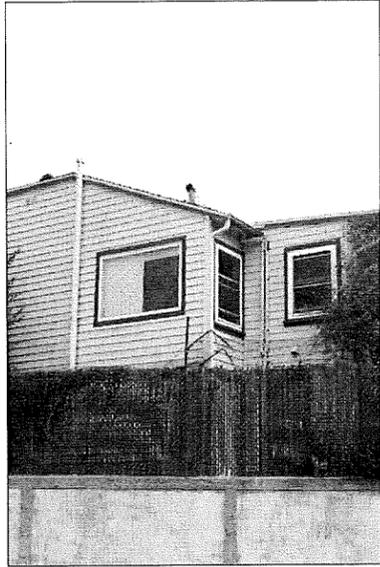
ENERGY CONSULTANT: TITLE 24 EXPRESS  
PO BOX 334  
GRASS VALLEY, CA 95945  
CONTACT: MICHAEL KUNZ  
T: 866.828.9488

GENERAL CONTRACTOR: MONTCLAIR CONSTRUCTION  
3871 PIEDMONT AVENUE  
OAKLAND, CA 94611  
CONTACT: CARLO KATCHI  
T: 510.547.2457

7302 GLADYS AVE. BATHROOM/KITCHEN ADD./ RENO.  
PERMIT SET - REV. 2: 10/06/2016







**MECHANICAL, ELECTRICAL, PLUMBING GENERAL NOTES**

- MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE EXECUTED UNDER A DESIGN-BUILD CONTRACT. MECHANICAL, ELECTRICAL, AND PLUMBING DEVICES AND EQUIPMENT ARE SHOWN FOR DESIGN INTENT ONLY. DESIGN-BUILD CONTRACTORS SHALL VERIFY FULL SCOPE OF WORK, PROVIDE DOCUMENTATION AND ENGINEERING, AND FURNISH EQUIPMENT, PARTS, AND ASSEMBLIES AS REQUIRED FOR CODE-COMPLIANT, OPERATIONAL SYSTEMS.
- ALL CONDUIT, PLUMBING, DUCTWORK, AND OTHER DISTRIBUTION SYSTEMS SHALL BE CONCEALED, TYPICAL.
- ALL WATER PIPES TO SINKS SHALL BE INSTALLED WITH SOUND DEADENING MATERIAL TO PREVENT TRANSFER OF NOISE.
- CONTRACTOR SHALL VERIFY & COORDINATE ALL PLUMBING ROUGH-IN'S, VALVES, FITTINGS, TRIMMINGS, EXTENSIONS, AS REQUIRED TO ACHIEVE AN OPERATIONAL DEVICE.
- WHERE MULTIPLE SWITCH DEVICES ARE INDICATED, CONTRACTOR SHALL, TO THE GREATEST EXTENT POSSIBLE, GANG-TOGETHER SWITCHES WITH A SINGLE FACE-PLATE.
- CONVENIENCE OUTLETS ARE GENERALLY SHOWN. CONTRACTOR SHALL PROVIDE NEW OUTLETS AS REQUIRED TO ACHIEVE PROPOSED DESIGN AND SATISFY CURRENT CODE REQUIREMENTS.
- ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLE SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES, PER CEC ART. 406.12.
- ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN FAMILY/LIVING/DINING ROOMS, BEDROOMS, RECREATION ROOMS, SUNROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS/AREAS (EXCEPT KITCHEN/BATHROOMS/LAUNDRY) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUITS, PER CEC ART. 210.12.
- ALL AIR-DISTRIBUTION SYSTEM DUCTS AND PLENUMS SHALL BE INSTALLED, SEALED, AND INSULATED TO MEET THE REQUIREMENT OF 2013 CMC SECTIONS 601, 603, 604, AND STANDARD 6-3. PORTIONS CONVEYING CONDITIONED AIR SHALL BE INSULATED TO A MINIMUM INSTALLED LEVEL OF R-4.2 OR HIGHER OR BE ENCLOSED ENTIRELY IN CONDITIONED SPACE.
- ALL FAN SYSTEMS THAT EXHAUST AIR FROM THE BUILDING TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT OR AUTOMATIC DAMPERS TO PREVENT AIR LEAKAGE.

**WIRING DEVICES**

- DUPLEX CONVENIENCE RECEPTACLE OUTLET, WALL MOUNTED, +15' U.O.N.
- DOUBLE DUPLEX CONVENIENCE RECEPTACLE OUTLET, WALL MOUNTED, +15' U.O.N.
- DUPLEX CONVENIENCE RECEPTACLE, SPLIT-WIRED, WALL MOUNTED, +15' U.O.N.
- SPECIAL-PURPOSE RECEPTACLE OUTLET, WALL MOUNTED, +15' U.O.N.
- RANGE OUTLET
- DUPLEX RECEPTACLE OUTLET w/ GROUND FAULT INTERRUPTER
- DUPLEX RECEPTACLE OUTLET w/ ARC FAULT CIRCUIT INTERRUPTER
- WEATHERPROOF DUPLEX RECEPTACLE OUTLET w/ GROUND FAULT INTERRUPTER
- DUPLEX CONVENIENCE RECEPTACLE OUTLET, MOUNTED IN FLUSH FLOOR BOX
- SPECIAL-PURPOSE RECEPTACLE OUTLET, MOUNTED IN FLUSH FLOOR BOX
- SINGLE-POLE, SINGLE-THROW SWITCH, WALL MOUNTED, +42' U.O.N.
- THREE-WAY SWITCH, WALL MOUNTED, +42' U.O.N.
- FOUR-WAY SWITCH, WALL MOUNTED, +42' U.O.N.
- WALLBOX DIMMER SWITCH, WALL MOUNTED, +42' U.O.N.
- LINE-VOLTAGE MULTIPLE GANG SWITCHING STATION, WALL MOUNTED, +42' U.O.N. REFER TO PLANS FOR DEVICE QUANTITIES AND TYPES
- LOW-VOLTAGE LIGHTING CONTROL SWITCHING STATION, WALL MOUNTED, +42' U.O.N.
- LIGHTING CONTROL MOTION SENSOR, WALL-MOUNTED
- LIGHTING CONTROL, MANUAL-ON OCCUPANT SENSOR, WALL-MOUNTED
- LIGHTING CONTROL, PHOTOCONTROL SENSOR (COMPLIANT TO T-24 SECTION 119(b)), WALL-MOUNTED

**FIRE ALARM**

- SMOKE DETECTOR INITIATING DEVICE, CEILING MOUNTED IN FLUSH JUNCTION BOX (S.D. SHALL BE PERMANENTLY WIRED w/ BATTERY BACK-UP THAT SIGNALS WHEN BATTERIES ARE LOW. THE ALARM SHALL BE AUDIBLE IN THE SLEEPING AREA. THE DEVICE SHALL BE WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER-CURRENT PROTECTION)
- CARBON MONOXIDE DETECTOR INITIATING DEVICE, CEILING MOUNTED IN FLUSH JUNCTION BOX

**SIGNALING/TELECOMMUNICATION**

- TELECOMMUNICATION DEVICE (VOICE ONLY), WALL MOUNTED, +15' U.O.N.
- TELECOMMUNICATION DEVICE (CAT 6-DATA ONLY), WALL MOUNTED, +15' U.O.N.
- TELECOMMUNICATION DEVICE (VOICE/CAT 6-DATA), WALL MOUNTED, +15' U.O.N.
- TELECOMMUNICATION DEVICE (VOICE ONLY), MOUNTED IN FLUSH FLOOR BOX
- TELECOMMUNICATION DEVICE (CAT 6-DATA ONLY), MOUNTED IN FLUSH FLOOR BOX
- TELECOMMUNICATION DEVICE (VOICE/CAT 6-DATA), MOUNTED IN FLUSH FLOOR BOX
- CHIME
- TELEVISION OUTLET
- ELECTRIC DOOR OPENER
- BUZZER
- THERMOSTAT

**PLUMBING**

- NATURAL GAS CONNECTION
- HOSE BIBB
- RAIN-HEAD STYLE SHOWER HEAD
- FLOOR DRAIN
- AREA DRAIN
- ROOF DRAIN w/ INTEGRAL OVERFLOW

**ELECTRICAL EQUIPMENT**

- POWER PANEL
- LIGHTING PANEL
- CABINET (MOUNTING, SIZE, AND PURPOSE SHOWN)

SHELTERWERKES  
15817 MacArthur Blvd.  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com



**STAMP**



**PROJECT**

KITCHEN/BATH  
RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

**REVISION**

REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE: 10.06.2016  
JOB NUMBER: 1420.00  
PHASE: CONSTRUCTION DOCUMENTS  
ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**

MECH., ELECT., &  
PLUMB. SYMBOLS &  
NOTES;  
EXISTING PHOTOS

**SHEET NUMBER**

A0.2

**CERTIFICATE OF COMPLIANCE** CF1R-ADD-02-E (Page 1 of 9)  
 Prescriptive Residential Additions 300 Ft<sup>2</sup> or Less, or Additions That Do Not Require HERS Field Verification  
 Project Name: Addition & Alteration Date Prepared: 3/23/2016

*This compliance document is only applicable to additions 300 ft<sup>2</sup> or less, or additions that do not require HERS field verification for compliance. When HERS verification is required, a CF1R-ADD-01 shall first be registered with a HERS Provider Data Registry.*

*Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ADD-02 and CF2R-ADD-02 Compliance Documents. Possible exemptions from duct leakage testing include: less than 40 ft of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ADD-01 must be completed and registered with a HERS Provider Data Registry.*

*Additions or alterations that utilize Closed Cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value other than 5.8 per inch, or Open Cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ADD-01 with a HERS Provider Data Registry.*

*If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.*

A. GENERAL INFORMATION				
01	Project Name:	Addition & Alteration	02 Date Prepared:	3/23/2016
03	Project Location:	7302 Gladys Avenue	04 Building Front Orientation (deg):	335
05	CA City:	El Cerrito	06 Number of Dwelling Units with Additions:	1
07	Zip Code:	94530	08 Fuel Type:	Natural Gas
09	Climate Zone:	3	10 Total Conditioned Floor Area (ft <sup>2</sup> ) (Addition):	28 ft <sup>2</sup>
11	Building Type:	Single Family	12 Slab Area (ft <sup>2</sup> ):	n/a
13	Project Scope:	28 ft <sup>2</sup> Addition		

**CERTIFICATE OF COMPLIANCE** CF1R-ADD-02-E (Page 2 of 9)  
 Prescriptive Residential Additions 300 Ft<sup>2</sup> or Less, or Additions That Do Not Require HERS Field Verification  
 Project Name: Addition & Alteration Date Prepared: 3/23/2016

B. OPAQUE SURFACE DETAILS – Framed (Section 150.2(a))											
Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Cavity R-value	Continuous Insulation R-value	Proposed		Required		Comments
							U-Factor	Table	Cell	U-Factor	
	Roof/Ceiling	Wood	2x	24" oc	R-30	0	.031	4.2.1	20A	.031	
	Wall	Wood	2x4	16" oc	R-13*	0	.102	4.3.1	3A	.102	*Addn. <700 ft <sup>2</sup> min. R-13
	Floor	Wood	2x	16" oc	R-19	0	.037	4.4.1	4A	.037	

**CERTIFICATE OF COMPLIANCE** CF1R-ADD-02-E (Page 3 of 9)  
 Prescriptive Residential Additions 300 Ft<sup>2</sup> or Less, or Additions That Do Not Require HERS Field Verification  
 Project Name: Addition & Alteration Date Prepared: 3/23/2016

C. OPAQUE SURFACE DETAILS – Non-framed (Section 150.1(c)1)											
Tag/ID	Assembly Type	Assembly Materials	Thickness (inches)	Core Insulation R-value	Continuous Insulation R-value	U-Factor	Proposed		Required		Comments
							Table	Cell	U-Factor from Package A	U-Factor from Package A	
n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	

D. OPAQUE SURFACE DETAILS – Mass Walls (Section 150.1(c)1)														
Tag/ID	Walls Above Grade	Mass Type	Mass Thickness (inches)	Furring Strip Thickness (inches)	Proposed				Required					
					Interior Insulation		Exterior Insulation		Appendix JA4 Reference		Interior Insulation		Exterior Insulation	
					R-value	U-factor	R-value	U-factor	Table	Cell	R-value	U-factor	R-value	U-factor
n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

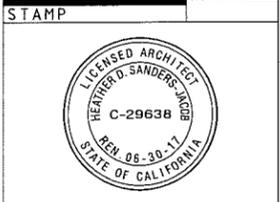
**CERTIFICATE OF COMPLIANCE** CF1R-ADD-02-E (Page 4 of 9)  
 Prescriptive Residential Additions 300 Ft<sup>2</sup> or Less, or Additions That Do Not Require HERS Field Verification  
 Project Name: Addition & Alteration Date Prepared: 3/23/2016

E. SLAB INSULATION (Table 150.1-A)					
Floor Type	Proposed		Required		Comments
	Insulation R-value	Insulation U-factor	Insulation R-value	Insulation U-factor	
n/a	n/a	n/a	n/a	n/a	

\* Heated slab floors require mandatory slab insulation (see Table 110.8-A).

F. RADIANT BARRIER (Section 150.1(c)2)	
01	02
Radiant Barrier Installed below the roof deck and on all gable end walls	Comments
Yes (if roof is above attic space)	Required below roof deck and on gable wall ends in attic

A radiant barrier is required (for Climate Zones 2-15)  
 • Radiant barriers shall meet specific eligibility and installation criteria to receive energy credit for compliance with the Building Energy Efficiency Standards for low-rise residential buildings. Refer to RA4.2.1  
 • The emittance of the radiant barrier shall be less than or equal to 0.05 as tested in accordance with ASTM C1371 or ASTM E408.  
 For Prescriptive Compliance the attic shall be ventilated to provide a minimum free ventilation area of not less than one square foot of vent area for each 300 ft<sup>2</sup> of attic floor area with no less than 30 percent upper vents. Ridge vents or gable end vents are recommended to achieve the best performance. The material should be cut to allow for full airflow to the venting.



**PROJECT**  
 KITCHEN/BATH RENOVATION/ ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE: 10.06.2016  
 JOB NUMBER: 1420.00  
 PHASE: CONSTRUCTION DOCUMENTS  
 ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**  
 TITLE 24 - ENERGY COMPLIANCE

**SHEET NUMBER**  
 A0.3

**G. ROOFING PRODUCTS (COOL ROOF) (Section 150.1(c)11)**

01	02	03	04	05	Proposed				Required			
					Initial Solar Reflectance	Aged Solar Reflectance	Thermal Emittance	SRI (Optional)	Aged Solar Reflectance	Thermal Emittance	SRI (Optional)	
n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

NOTES:  
 • Any roof area covered by building integrated photovoltaic panels and solar thermal panels are exempt from the above Cool Roof requirements.  
 • Liquid field applied coatings must comply with installation criteria from section 110.8(i)4.

**H. FENESTRATION/GLAZING AREAS ALLOWED (Section 150.2(a)1)**

01	02		03		04	05	06	07	08
	Maximum Allowed Fenestration Area For All Orientations ft <sup>2</sup>	The Greater	Maximum Allowed Fenestration Area West-Facing Fenestration Area Only ft <sup>2</sup>	The Greater					
<400 ft <sup>2</sup>	8.4 ft <sup>2</sup>	75 ft <sup>2</sup>	n/a	n/a	.32	n/a			

**I. FENESTRATION PROPOSED AREAS AND EFFICIENCIES**

01	02	03	04	05	06	07	08	09	10	11	12	13
Tag/ID	Fenestration Type	Frame Type	Dynamic Glazing	Orientation N, S, W, E or Roof	Number of Panes	Proposed Fenestration Area ft <sup>2</sup>	Proposed West-Facing Fenestration Area ft <sup>2</sup>	Proposed U-factor	Proposed SHGC	Source	Exterior Shading Device	Combined SHGC from CF1R-ENV-03
	Window	Any	No	E	2	3.6 ft <sup>2</sup>	n/a	.32	n/a	NFRC	No	n/a
14	Total Proposed Fenestration Area										3.6 ft <sup>2</sup>	
15	Maximum Allowed Fenestration Area										75 ft <sup>2</sup>	
16	Compliance Statement Total Proposed Fenestration Area ≤ Maximum Allowed Fenestration Area										<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
17	Total Proposed West-Facing Fenestration Area										n/a	
18	Maximum Allowed West-Facing Fenestration Area										n/a	
19	Compliance Statement Total Proposed West-Facing Fenestration Area ≤ Maximum Allowed West-Facing Fenestration Area										<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
20	Proposed Fenestration U-factor										.32	
21	Required Fenestration U-factor										.32	
22	Compliance Statement Proposed Fenestration U-factor ≤ Required Fenestration U-factor										<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
23	Proposed Fenestration SHGC										n/a	
24	Required Fenestration SHGC										n/a	
25	Compliance Statement Proposed Fenestration SHGC ≤ Required Fenestration SHGC										<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**J. SPACE CONDITIONING(SC) SYSTEMS - HEATING/COOLING (Prescriptive section 150.2(b)).**  
 Alterations to Space Conditioning Systems shall be exempt from HERS verification requirements as prerequisite for use of the CF1R-ADD-02 and CF2R-ADD-02 Compliance Documents. If new space conditioning systems are installed or existing systems are altered and are not exempt from HERS verification, then a CF1R-ADD-01 shall be completed and registered with a HERS Provider Data Registry. In each row below for each dwelling unit in the building, check the box that indicates the exemption from HERS verification compliance:  
 a: space conditioning system was not altered;  
 b: less than 40 ft of ducts were added or replaced;  
 c: (exempt from duct leakage testing) if: the existing duct system was insulated with asbestos;  
 d: (exempt from duct leakage testing) if: the existing duct system was previously tested and passed by a HERS Rater.

01	02	03	04
Dwelling Unit Name	SC System Identification or Name	SC System Location or Area Served	Exemption from HERS Verification
7302 Gladys Avenue	Existing HVAC System	Existing + Addition	<input checked="" type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d
	No HERS verification required		<input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d

**K. WATER HEATING SYSTEMS (Section 150.1(c)8)**  
 List water heaters and boilers for both domestic hot water (DHW) heaters and hydronic space heating.

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15
Dwelling Unit Name	Water Heating System Identification or Name	Water Heating System Location or Area Served	Water Heating System Type	Water Heater Type	# of Water Heaters in System	Water Heater Storage Volume (gal)	Fuel Type	Rated Input Value	Rated Input Value	Heating Efficiency Type	Heating Efficiency Value	Standby Loss (%)	Exterior Insulation R-Value	Back-Up Solar Savings Fraction
7302 Gladys A	Water Htr. (e)	Existing/Addn	DHW	Sol/Gas	1	40 Gal.	Sol/Gas	Btu/h	40KBTU	EF	.58	n/a	n/a	n/a

**SHELTERWERKES**  
 1529 Telegraph Ave. Ste. 500  
 Oakland, CA 94612  
 (510) 595-3836  
 www.shelterwerkes.com



**STAMP**

**PROJECT**  
 KITCHEN/BATH  
 RENOVATION/ ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

**REVISION**

REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE: 10.06.2016  
 JOB NUMBER: 1420.00  
 PHASE: CONSTRUCTION DOCUMENTS  
 ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**  
 TITLE 24 - ENERGY COMPLIANCE

**SHEET NUMBER**  
 A0.4

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

1. I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: <b>Michael Kunz, CEPE</b>	Documentation Author Signature: <i>Michael Kunz</i>
Company: <b>Energy Performance Services</b>	Signature Date: <b>3/23/2016</b>
Address: <b>3335 Placer Street, #350</b>	CEA/HERS Certification Identification (if applicable): <b>n/a</b>
City/State/Zip: <b>Redding, CA 96001</b>	Phone: <b>888-828-9488</b>

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
- That the energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: <b>Aurora Morris</b>	Responsible Designer Signature:
Company: <b>Shelterwerkes Architecture</b>	Date Signed: <b>3/23/2016</b>
Address: <b>580 2nd Street, Suite 260</b>	License:
City/State/Zip: <b>Oakland, CA 94607</b>	Phone: <b>510-595-3836</b>

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300.

This compliance document is only applicable to simple alterations that do not require HERS verification for compliance. When HERS verification is required, a CF1R-ALT-01 shall first be registered with a HERS Provider Data Registry.

Alterations to Space Conditioning Systems that are exempt from HERS verification requirements may use the CF1R-ALT-05 and CF2R-ALT-05 Compliance Documents. Possible exemptions from duct leakage testing include: less than 40 ft of ducts were added or replaced; or the existing duct system was insulated with asbestos; or the existing duct system was previously tested and passed by a HERS Rater. If space conditioning systems are altered and are not exempt from HERS verification, then a CF1R-ALT-02 must be completed and registered with a HERS Provider Data Registry.

Alterations that utilize Closed Cell Spray Polyurethane Foam (ccSPF) with a density of 1.5 to less than 2.5 pounds per cubic foot having an R-value other than 5.8 per inch, or Open Cell Spray Polyurethane Foam (ocSPF) with a density of 0.4 to less than 1.5 pounds per cubic foot having an R-value of 3.6 per inch, shall complete and register a CF1R-ALT-01 with a HERS Provider Data Registry.

If more than one person has responsibility for installation of the items on this certificate, each person shall prepare and sign a certificate applicable to the portion of construction for which they are responsible. Alternatively, the person with chief responsibility for construction shall prepare and sign this certificate for the entire construction. All applicable Mandatory Measures shall be met. Temporary labels shall not be removed before verification by the building inspector.

**A. GENERAL INFORMATION**

01 Project Name:	Addition & Alteration	02 Date Prepared:	3/23/2016
03 Project Location:	7302 Gladys Avenue	04 Building Front Orientation (deg or cardinal):	335
05 CA City:	El Cerrito	06 Number of Altered Dwelling Units:	1
07 Zip Code:	94530	08 Fuel Type:	Gas
09 Climate Zone:	3	10 Total Conditioned Floor Area (ft <sup>2</sup> ):	1180 ft <sup>2</sup>
11 Building Type:	Single Family	12 Slab Area (ft <sup>2</sup> ):	n/a
13 Project Scope:	Alteration to Residence		

**B. BUILDING INSULATION DETAILS (Section 150.2(b)1)**

Tag/ID	Assembly Type	Frame Type	Frame Depth (inches)	Frame Spacing (inches)	Proposed				Required		Comments
					Cavity R-value	Continuous Insulation R-value	U-factor	Appendix J44 Reference Table	Cell	U-Factor	
	Roof/Ceiling	Wood	2x	24" oc	R-30	n/a	.031	4.2.1	20A	.031	Altered areas only
	Wall	Wood	2x4	16" oc	R-13	n/a	.102	4.3.1	3A	.102	Altered areas only
	Floor	Wood	2x	16" oc	R-19	n/a	.037	4.4.1	4A	.037	Altered areas only

**C. ROOF REPLACEMENT (Prescriptive Alteration, Section 150.2(b)1H)**

Method of Compliance	Roof Pitch	Exception	CRRC Product ID Number	Product Type	R-value Deck Insulation	Proposed				Minimum Required			
						Initial Solar Reflectance	Aged Solar Reflectance	Thermal Emittance	SRI (Optional)	Aged Solar Reflectance	Thermal Emittance	SRI (Optional)	
n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a

**NOTES**

- Roof area covered by building integrated photovoltaic panels and solar thermal panels are exempt from the above Cool Roof requirements.
- Liquid field applied coatings must comply with installation criteria from section 110.8(b)4.

**D. FENESTRATION/GLAZING AREAS ALLOWED (Section 150.2(b)1)**

Alteration Type	02		03	04		05		06		Comments
	Maximum Allowed Fenestration Area For All Orientations (ft <sup>2</sup> ) (Windows)	Maximum Allowed Fenestration Area For All Orientations (ft <sup>2</sup> ) (Skylights)	Maximum Allowed West-Facing Fenestration Area Only (ft <sup>2</sup> )	Existing Fenestration Area for All Orientations (ft <sup>2</sup> )	Existing West-Facing Fenestration Area (ft <sup>2</sup> )	Maximum Allowed U-factor (Windows)	Maximum Allowed U-factor (Skylights)	Maximum Allowed SHGC (Windows)	Maximum Allowed SHGC (Skylights)	
Add<75	n/a*	n/a*	n/a*	n/a*	n/a*	.32	**n/a	n/a	**n/a	

\*This alteration does not trigger the overall area limits or west-facing area limits of Package A. Less than 75 ft<sup>2</sup> net glazing added.

\*\*Up to 3 ft<sup>2</sup> new tubular skylight no requirement for u-factor or SHGC



**STAMP**



**PROJECT**

KITCHEN/BATH  
 RENOVATION/ ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

**REVISION**

REVISION	DATE
1	08.08.2016
2	10.05.2016

DATE: 10.05.2016  
 JOB NUMBER: 1420.00  
 PHASE: CONSTRUCTION DOCUMENTS  
 ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**

TITLE 24 - ENERGY  
 COMPLIANCE

**SHEET NUMBER**

A0.5



STATE OF CALIFORNIA  
**Prescriptive Residential Alterations That Do Not Require HERS Field Verification**  
 CEC-CFIR-ALT-05-E (Rev. 01/15)

CALIFORNIA ENERGY COMMISSION

**CERTIFICATE OF COMPLIANCE**  
 Prescriptive Residential Alterations That Do Not Require HERS Field Verification  
 Project Name: Addition & Alteration Date Received: 3/23/2016  
 (Page 8 of 8)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**

1. I certify that this Certificate of Compliance documentation is accurate and complete.  
 Documentation Author Name: Michael Kunz, CEPE  
 Company: Energy Performance Services  
 Address: 3335 Placer Street, #350  
 City/State/Zip: Redding, CA 96001  
 Signature Date: 3/23/2016  
 CEV/HERS Certification Identification (if applicable): n/a  
 Phone: 888-828-9488

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**

- I certify the following under penalty of perjury, under the laws of the State of California:
  - The information provided on this Certificate of Compliance is true and correct.
  - I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible design).
  - That the energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
  - The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
  - I will ensure that a registered copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a registered copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Aurora Morris  
 Company: Shelterwerkes Architecture  
 Address: 680 2nd Street, Suite 260  
 City/State/Zip: Oakland, CA 94607  
 Signature Date: 3/23/2016  
 License: 510-595-3836

For assistance or questions regarding the Energy Standards, contact the Energy Hotline at: 1-800-772-3300.

CA Building Energy Efficiency Standards - 2013 Residential Compliance

January 2015

**2013 Low-Rise Residential Mandatory Measures Summary**

*NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the measure approach used. Exclusions must apply. Review the respective code section for more information.*

Building Envelope Measures	Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
\$110.0(a)1:	Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
\$110.0(a)2:	Fenestration products (except field-applied window films) have a label listing the certified U-factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §101-11.1(a).
\$110.7:	Exterior doors and windows are weatherstripped; all joints and penetrations are caulked and sealed.
\$110.0(a)3:	Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on the CFR.
\$110.0(a)4:	The thermal emittance and aged solar reflectance values of the cool roofing material meets the requirements of §110.8(d) when the installation of a cool roof is specified on the CFR.
\$110.0(a)5:	A radiant barrier shall have an emittance of 0.05 or less when the installation of a radiant barrier is specified on the CFR.
\$150.0(a)1:	Minimum R-30 insulation in wood-frame ceiling; or the weighted average U-factor shall not exceed 0.031. Minimum R-19 in a rafter roof alteration. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage.
\$150.0(a)2:	Loose fill insulation shall conform with manufacturer's installed design labeled R-value.
\$150.0(a)3:	Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or 0.074 maximum U-factor).
\$150.0(a)4:	Minimum R-19 insulation in raised wood-frame floor or 0.077 maximum U-factor.
\$150.0(a)5:	In Climate Zones 14 and 16 Class II vapor retarder shall be installed on the conditioned space side of all insulation in all exterior walls.
\$150.0(a)6:	In Climate Zones 1-16 with unvented crawl spaces, the earth floor of the crawl space shall be covered with a Class I or Class II vapor retarder.
\$150.0(a)7:	In a building having a vented crawl space, a Class I or Class II vapor retarder shall be placed over the earth floor of the crawl space to reduce moisture entry and protect insulation from condensation, as specified in the exception to Section 110.7.
\$150.0(a)8:	Skylight insulation shall have a water absorption rate. For the insulation material alone without fittings, no greater than 0.2%; and when water vapor permeance rate is no greater than 2.0 perm-inch, be protected from physical damage and UV light deterioration; and when installed as part of a heated slab floor, meet the requirements of §110.8(g).
\$150.0(a)9:	Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors shall have a maximum U-factor of 0.38; or the weighted average U-factor of all fenestration shall not exceed 0.28.
Prepares, Decorative Gas Appliances and Gas Log Measures:	
\$150.0(c)1A:	Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.
\$150.0(c)1B:	Masonry or factory-built fireplaces have a combination outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-filling damper or a combination control device.
\$150.0(c)1C:	Masonry or factory-built fireplaces have a fire damper with a readily accessible control.
\$150.0(c)2:	Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.
Space Conditioning, Water Heating, and Plumbing System Measures:	
\$110.0-§110.3:	HVAC equipment, water heaters, showerevents, faucets and all other regulated appliances are certified to use Energy Commission.
\$110.3(a):	Water heating recirculation loops serving multiple dwelling units meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §110.3(a).
\$110.5:	Continuously burning pilot lights are prohibited for natural gas (non-APG) water heaters, household cooking appliances (grills, ovens, and ranges) without an electrical supply voltage connection with pilot lights that consume less than 50 Btu/hr (except), and pool and spa heaters.
\$150.0(d)1:	Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA using design conditions specified in §150.0(d)2.
\$150.0(d)2:	Insulated air conditioner and heat pump outdoor condensing units shall have a clearance of at least five feet from the outlet of any duct vent.
\$150.0(d)3:	Heating systems are equipped with thermostats that meet the setback requirements of §110.2(c).
\$150.0(d)4:	Storage gas water heaters with an energy factor equal to or less than the federal minimum standards shall be externally wrapped with insulation.
\$150.0(d)5:	Unvented hot water tanks with storage tanks and hot/cold water tanks for solar water-heating systems, have R-12, external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
\$150.0(d)6:	For domestic hot water system piping, whether buried or unburied, the first 5 feet of hot and cold water pipes from the storage tank, all piping with a nominal diameter of 3/4 inch or larger, all piping associated with a domestic hot water recirculation system regardless of the pipe diameter, piping from the heating source to storage tank or between tanks, piping buried below grade, and all hot water pipes from the heating source to kitchen fixtures must be insulated according to the requirements of TABLE 120.3-A.
\$150.0(d)7:	All domestic hot water pipes that are buried below grade must be installed in a water proof and non-combustible casing or sleeve that allows for installation, removal, and replacement of the enclosed pipe and insulation.

**2013 Low-Rise Residential Mandatory Measures Summary**

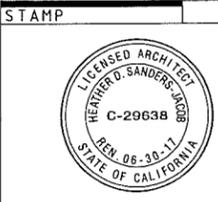
\$150.0(j)2:	Pipe for cooling system lines shall be insulated as specified in §150.0(j)2A. Piping insulation for steam and hydronic heating systems or hot water systems with pressure > 15 psig shall meet the requirements in TABLE 120.3-A.
\$150.0(j)3:	Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.
\$150.0(j)3A:	Insulation exposed to weather shall either be rated for outdoor use or installed with a cover suitable for outdoor service. For example, protected by aluminum sheet metal, painted canvas, or plastic cover. Cellular foam insulation protected as specified or painted with coating that is water retardant and provides shielding from solar radiation that degrades the material.
\$150.0(j)3B:	Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space shall have a Class I or Class II vapor retarder facing, or the insulation shall be installed at the thickness that qualifies as a Class I or Class II vapor retarder.
\$150.0(n)1:	Systems using gas or propane water heaters to serve individual dwelling units shall include a 120V electrical receptacle within 3 feet of the water heater, a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed, a condensate drain that is no more than 2 inches higher than the base of the installed water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu/hr.
\$150.0(n)2:	Recirculating loops serving multiple dwelling units shall meet the requirements of §110.3(c).
\$150.0(n)3:	Solar water-heating systems and collectors shall be certified and rated by the Solar Rating and Certification Corporation (SRCC) or by a testing agency approved by the Executive Director.
Ducts and Fans Measures:	
\$150.0(m)1:	All air-distribution system ducts and plenums installed are sealed and insulated to meet the requirements of CMIC §601.0, §602.0, §603.0, §604.0, §605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-6.0 (or higher if required by CMIC §605.0) or enclosed entirely in directly conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Connections of metal ducts and inner core of flexible ducts are mechanically fastened. Openings shall be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, UL 181B, or UL 181C or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/2 inch, the combination of mastic and either mesh or tape shall be used. Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.
\$150.0(m)2:	Factory-Fabricated Duct Systems shall comply with specified requirements for duct construction, connections, and closures; joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
\$150.0(m)3-6:	Field-Fabricated Duct Systems shall comply with requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction; duct insulation R-value ratings; duct insulation thickness; and duct labeling.
\$150.0(m)7:	All fan systems that exchange air between the conditioned space and the outside of the building must have backdraft or automatic dampers.
\$150.0(m)8:	Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers except combustion inlet and outlet air openings and elevator shaft vents.
\$150.0(m)9:	Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind but not limited to the following: insulation exposed to weather shall be suitable for outdoor service. For example, protected by aluminum sheet metal, painted canvas, or plastic cover. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
\$150.0(m)10:	Flexible ducts cannot have porous inner cores.
\$150.0(m)11:	When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts shall be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
\$150.0(m)12:	Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a thermal conditioning component, except evaporative coolers, shall be provided with air filter devices that meet the requirements of §150.0(m)12.
\$150.0(m)13:	Space conditioning systems that utilize forced air ducts to supply cooling to an occupiable space shall have a hole for the placement of a static pressure probe (HSP), or a permanently installed static pressure probe (PSP) in the supply plenum. The space conditioning system must also demonstrate airflow ≥ 350 CFM per ton of nominal cooling capacity through the return grilles, and an air-handling unit fan efficiency ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
\$150.0(m)15:	Zonally controlled central forced air cooling systems shall be capable of simultaneously delivering, in every zonal control mode, an airflow from the dwelling, through the air handler fan and delivered to the dwelling, of ≥ 230 CFM per ton of nominal cooling capacity, and operating at an air-handling unit fan efficiency of ≤ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
\$150.0(k):	All dwelling units shall meet the requirements of ASHRAE Standard 62.2. Neither window operation nor continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of providing the Whole Building Ventilation.
\$150.0(o)1A:	Whole Building Ventilation airflow shall be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.
Pool and Spa Heating Systems and Equipment Measures:	
\$110.4-(a):	Any pool or spa heating system shall be certified to have a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating.

**2013 Low-Rise Residential Mandatory Measures Summary**

\$110.4(b)1:	Any pool or spa heating equipment shall be installed with at least 36 inches of pipe between filter and heater or dedicated suction and return lines, or building connections for future solar heating.
\$110.4(b)2:	Outdoor pools or spas that have a heat pump or gas heater shall have a cover.
\$110.4(b)3:	Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
\$110.5:	Natural gas pool and spa heaters shall not have a continuous burning pilot light.
\$150.0(p):	Residential pool systems or equipment shall meet specified pump sizing, flow rate, piping, filters, and valve requirements.
Lighting Measures:	
\$110.9:	All lighting control devices and systems, ballasts, and luminaires shall meet the applicable requirements of §110.9.
\$150.0(k)1A:	Installed luminaires shall be classified as high-efficacy or low-efficacy for compliance with §150.0(k) in accordance with TABLE 150.0-A or TABLE 150.0-B, as applicable.
\$150.0(k)1B:	When a high efficacy and low efficacy lighting system are combined in a single luminaire, each system shall separately comply with the applicable provisions of §150.0(k).
\$150.0(k)1C:	The wattage and classification of permanently installed luminaires in residential kitchens shall be determined in accordance with §130.0(c). In residential kitchens, the wattage of electrical boxes finished with a blank cover or where no electrical equipment has been installed, and where the electrical box can be used for a luminaire or a surface mounted ceiling fan, shall be calculated as 180 watts of low efficacy lighting per electrical box.
\$150.0(k)1D:	Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
\$150.0(k)1E:	Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume no more than 5 watts of power per luminaire or exhaust fan as determined in accordance with §130.0(c). Night lights do not need to be controlled by vacancy sensors.
\$150.0(k)1F:	Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hood) shall meet the applicable requirements of §150.0(k).
\$150.0(k)2A:	High efficacy luminaires must be switched separately from low efficacy luminaires.
\$150.0(k)2B:	Exhaust fans shall be switched separately from lighting systems.
\$150.0(k)2C:	Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
\$150.0(k)2D:	Controls and equipment are installed in accordance with manufacturer's instructions.
\$150.0(k)2E:	No control shall bypass a dimmer or vacancy sensor function if the control is installed to comply with §150.0(k).
\$150.0(k)2F:	Lighting controls comply with applicable requirements of §110.9.
\$150.0(k)2G:	An Energy Management Control System (EMCS) may be used to comply with dimmer requirements if: it functions as a dimmer according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS requirements of §130.5; and all other requirements in §150.0(k)2.
\$150.0(k)2H:	An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements of §150.0(k) if: it functions as a vacancy sensor according to §110.9; meets Installation Certificate requirements of §130.4; the EMCS requirements of §130.5; and all other requirements in §150.0(k)2.
\$150.0(k)2I:	A multiscene programmable controller may be used to comply with dimmer requirements of this section if it provides the functionality of a dimmer according to §110.9, and complies with all other applicable requirements in §150.0(k)2.
\$150.0(k)3A:	A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy.
\$150.0(k)3B:	Kitchen lighting includes all permanently installed lighting in the kitchen except external lighting in cabinets that illuminate only the inside of the cabinets. Lighting in areas adjacent to the kitchen, including but not limited to dining and nook areas, are considered kitchen lighting if they are not separately switched from kitchen lighting.
\$150.0(k)4:	Permanently installed lighting that is integral to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.
\$150.0(k)5:	A minimum of one high efficacy luminaire shall be installed in each bathroom; and all other lighting installed in each bathroom shall be high efficacy or controlled by vacancy sensors.
\$150.0(k)6:	Lighting installed in attached and detached garages, laundry rooms, and utility rooms shall be high efficacy luminaires and controlled by vacancy sensors.
\$150.0(k)7:	Lighting installed in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy, or shall be controlled by either dimmers or vacancy sensors.
\$150.0(k)8:	Luminaires recessed into ceilings shall be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/training laboratory; have a label that certifies that the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; be sealed with a gasket or caulk between the luminaire housing and ceiling; and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk; and allow ballast maintenance and replacement without requiring cutting holes in the ceiling.
\$150.0(k)9:	For recessed compact fluorescent luminaires with ballasts to qualify as high efficacy for compliance with §150.0(k), the ballasts shall be certified to the Energy Commission to comply with the applicable requirements in §110.9.
\$150.0(k)9A:	For single-family residential buildings, outdoor lighting permanently mounted to a residential building or other buildings on the same lot shall be high efficacy, or may be low efficacy if it meets all of the following requirements: i. Controlled by a manual ON and OFF switch that does not override to ON the automatic actions of items ii or iii below; and ii. Controlled by a motion sensor not having an override or bypass switch that disables the motion sensor, or controlled by a motion sensor having a temporary on-override switch which temporarily bypasses the motion sensing function and automatically reactivates the motion sensor within 6 hours; and iii. Controlled by one of the following methods:

**2013 Low-Rise Residential Mandatory Measures Summary**

\$150.0(k)9B:	a. Photocell not having an override or bypass switch that disables the photocell; or b. Astronomical time clock not having an override or bypass switch that disables the astronomical time clock, and which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or c. Energy management control system which meets all of the following requirements: At a minimum provide the functionality of an astronomical time clock in accordance with §110.9; meet the Installation Certification requirements in §130.4; meet the requirements for an EMCS in §130.5; does not have an override or bypass switch that allows the luminaire to be always ON, and is programmed to automatically turn the outdoor lighting OFF during daylight hours.
\$150.0(k)9C:	For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porches; and outdoor lighting for residential parking lots and residential carports with less than eight vehicles per site shall comply with one of the following requirements: i. Shall comply with §150.0(k)9A, or ii. Shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
\$150.0(k)9D:	For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by §150.0(k)9B or 150.0(k)9D shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
\$150.0(k)9E:	Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site shall comply with the applicable requirements in §110.9, §130.0, §130.2, §130.4, §140.7 and §141.0.
\$150.0(k)10:	Internally illuminated address signs shall comply with §140.8; or shall consume no more than 5 watts of power as determined according to §130.0(c).
\$150.0(k)11:	Lighting for residential parking garages for eight or more vehicles shall comply with the applicable requirements for nonresidential garages in §110.9, §130.0, §130.1, §130.4, §140.6, and §141.0.
\$150.0(k)12A:	In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common area in that building shall be high efficacy luminaires or controlled by an occupant sensor.
\$150.0(k)12B:	In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building shall: i. Comply with the applicable requirements in §110.9, §130.0, §130.1, §140.6 and §141.0; and ii. Lighting installed in corridors and stairwells shall be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors shall be capable of turning the light fully ON and OFF from all designed paths of ingress and egress.
Solar Ready Buildings:	
\$110.10(a)1:	Single family residences located in subdivisions with ten or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete, by the enforcement agency, on or after January 1, 2014, shall comply with the requirements of §110.10(b) through §110.10(d).
\$110.10(a)2:	Low-rise multi-family buildings shall comply with the requirements of §110.10(b) through §110.10(d).
\$110.10(b)1:	The solar zone shall have a minimum total area as described below. The solar zone shall comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area shall be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences the solar zone shall be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone shall be located on the roof or overhang of the building or on the roof or overhang of another structure located within 250 feet of the building or on covered parking installed with the building project and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area.
\$110.10(b)2:	All sections of the solar zone located on steep-sloped roofs shall be oriented between 110 degrees and 270 degrees of true north.
\$110.10(b)3A:	No obstructions, including but not limited to, vents, chimneys, architectural features, and roof mounted equipment, shall be located in the solar zone.
\$110.10(b)3B:	Any obstruction, located on the roof or any other part of the building that projects above a solar zone shall be located at least twice the distance, measured to the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
\$110.10(b)4:	For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load shall be clearly indicated on the construction documents.
\$110.10(c):	The construction documents shall indicate: a location for inverters and metering equipment and a pathway for routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); a pathway for routing of plumbing from the solar zone to the water-heating system.
\$110.10(d):	A copy of the construction documents or a comparable document indicating the information from §110.10(b) through §110.10(c) shall be provided to the occupant.
\$110.10(e)1:	The main electrical service panel shall have a minimum busbar rating of 200 amps.
\$110.10(e)2:	The main electrical service panel shall have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit location, and permanently marked as "For Future Solar Electric".



**PROJECT**  
 KITCHEN/BATH  
 RENOVATION/ ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

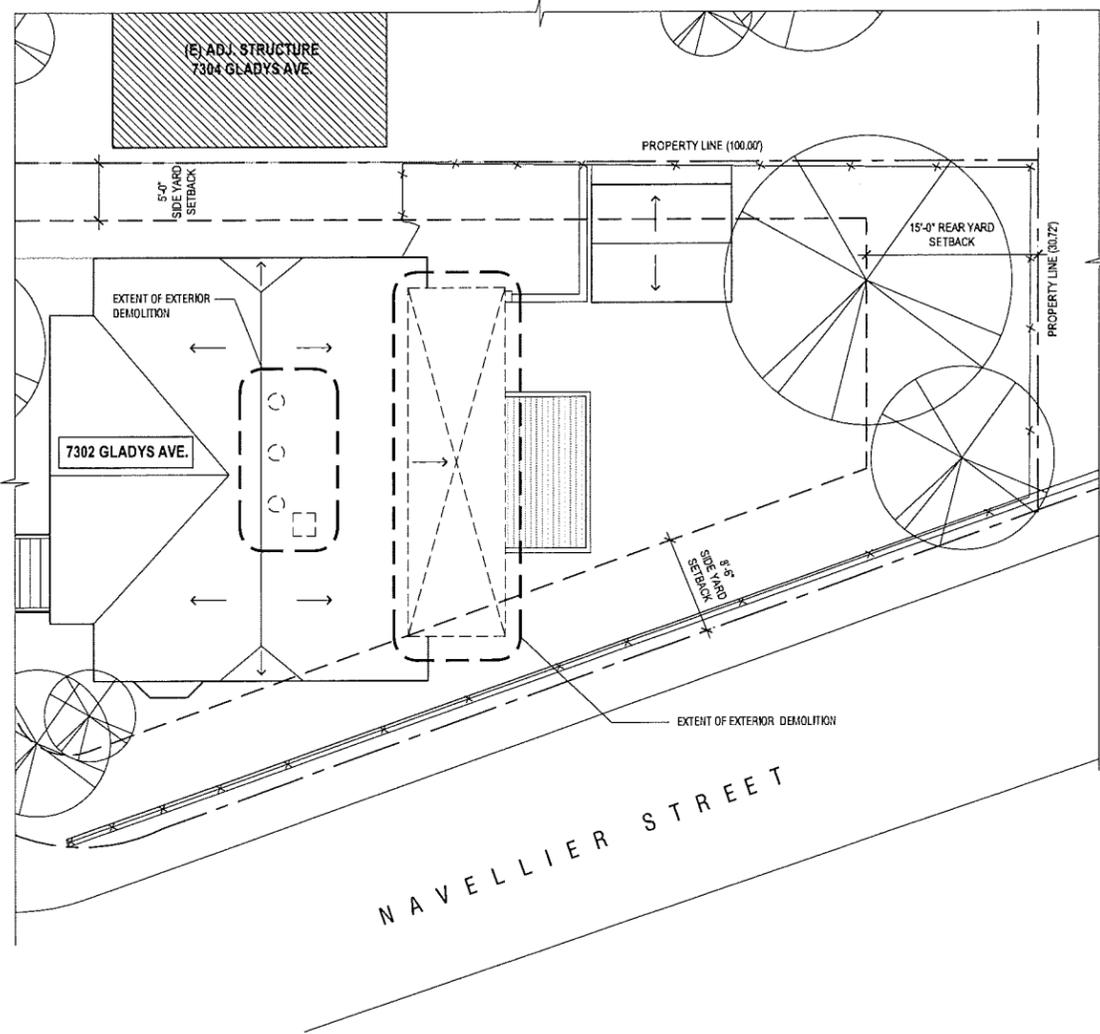
REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE: 10.06.2016  
 JOB NUMBER: 1420.00  
 PHASE: CONSTRUCTION DOCUMENTS  
 ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**  
 TITLE 24 - ENERGY  
 COMPLIANCE

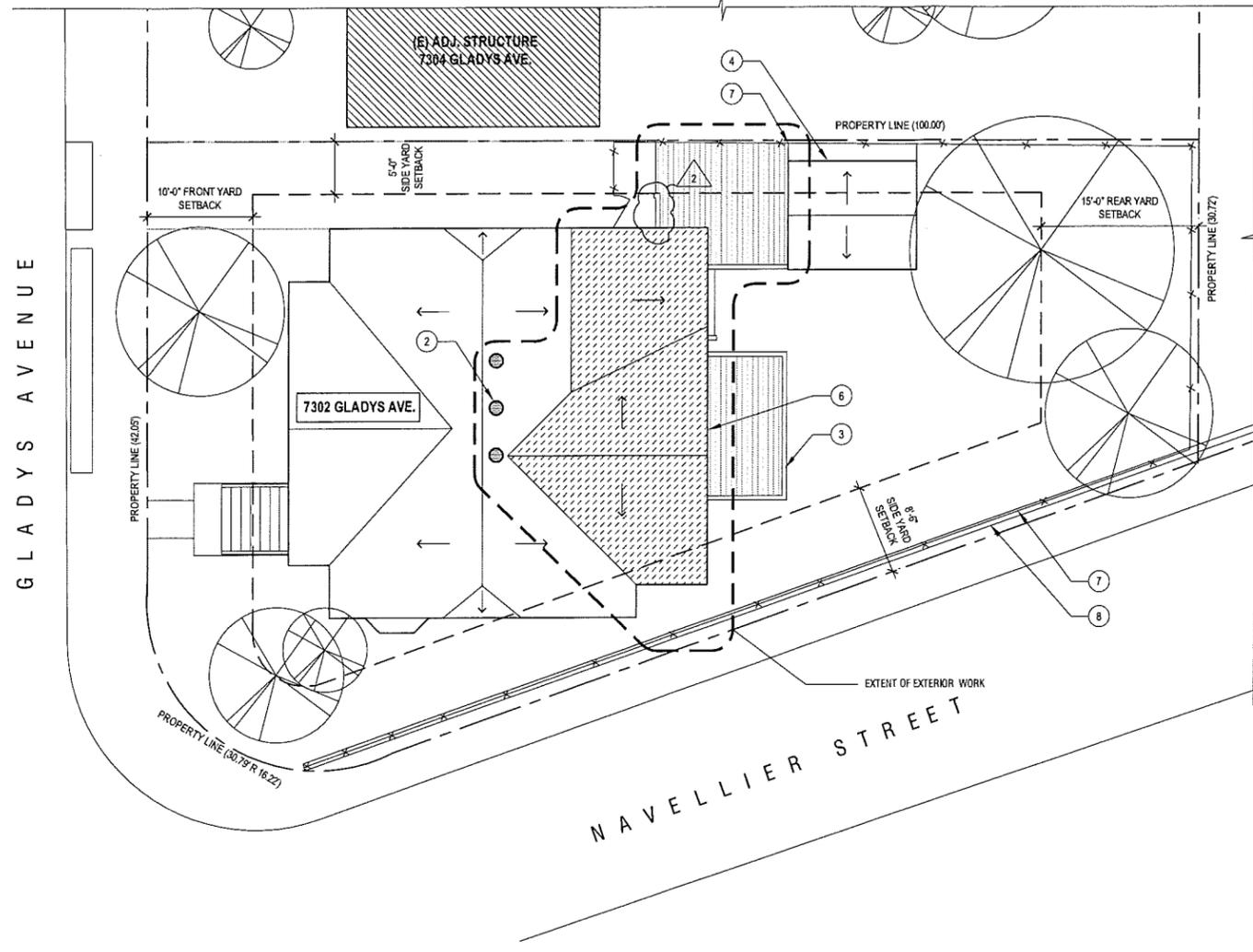
**SHEET NUMBER**  
 A0.7

**SHELTERWERKES**  
 1639 Telegraph Ave., Ste. 500  
 Oakland, CA 94612  
 (510) 595-3836  
 www.shelterwerkes.com



1 PARTIAL DEMOLITION SITE/ROOF PLAN

1/8"=1'-0"



2 PROPOSED SITE/ROOF PLAN

1/8"=1'-0"

KEY NOTES

- 1 (N) P.V. SOLAR PANEL ARRAY: FUTURE WORK
- 2 (N) "SOLATUBE" STYLE SKYLIGHT, TYP.
- 3 (E) WOOD DECK TO REMAIN
- 4 (E) GARDEN SHED TO REMAIN
- 5 (N) "SHINGLED IN" CLEAR CORRUGATED PLASTIC "SKYLIGHTS"
- 6 HATCHED AREA INDICATES AREA OF ALTERED ROOF
- 7 LINE OF (E) FENCE TO REMAIN
- 8 (E) CONC. RETAINING WALL TO REMAIN

GENERAL NOTES

1. NOT USED

SHELTERWERKES  
1628 Telegraph Ave. Ste. 500  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com



STAMP



PROJECT

KITCHEN/BATH  
RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

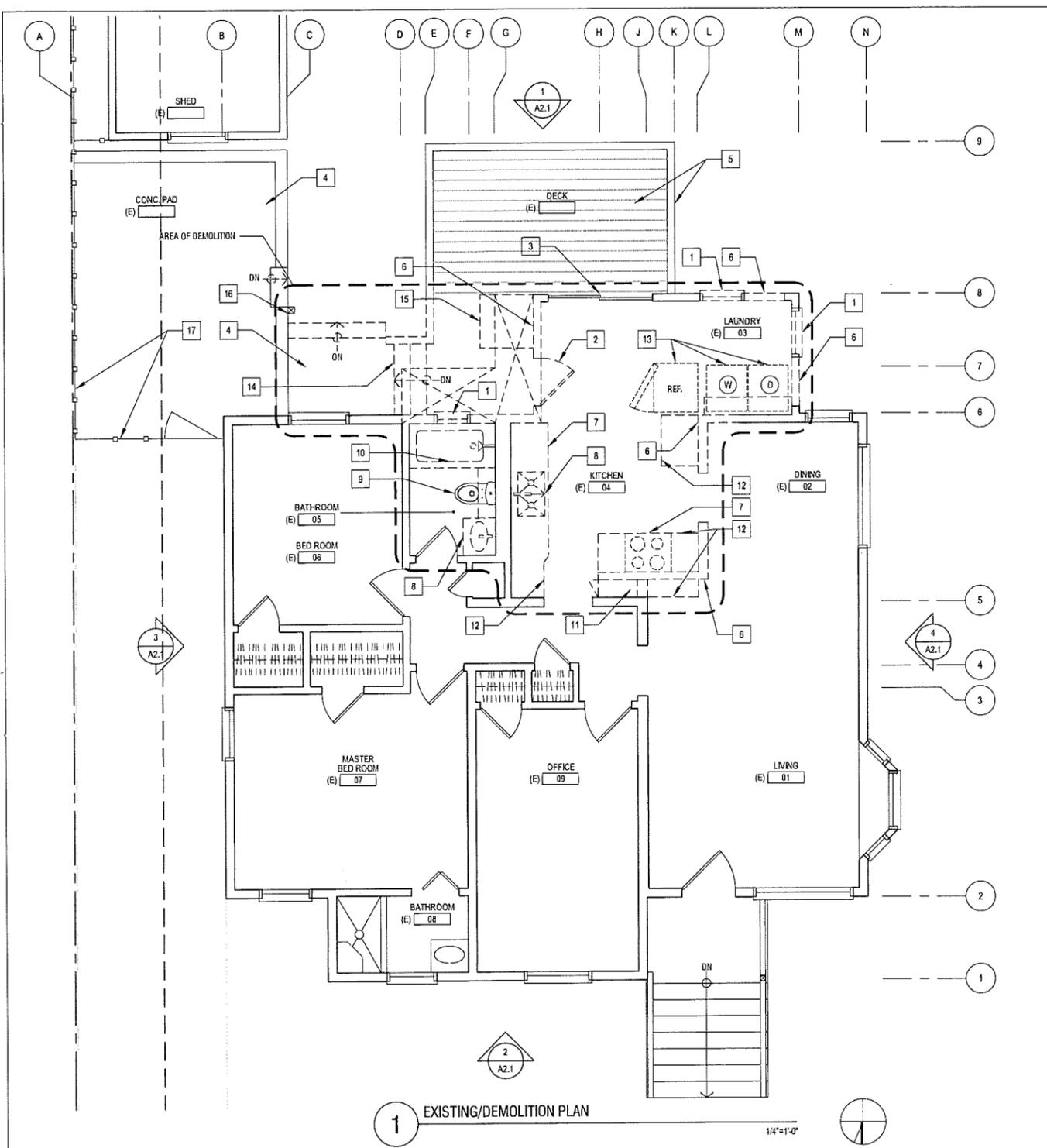
REVISION	DATE
1	08.08.2016
2	10.05.2016

DATE:	10.05.2016
JOB NUMBER:	1420.00
PHASE:	CONSTRUCTION DOCUMENTS
ISSUED FOR:	PERMIT/ CONSTRUCTION- REV. 2

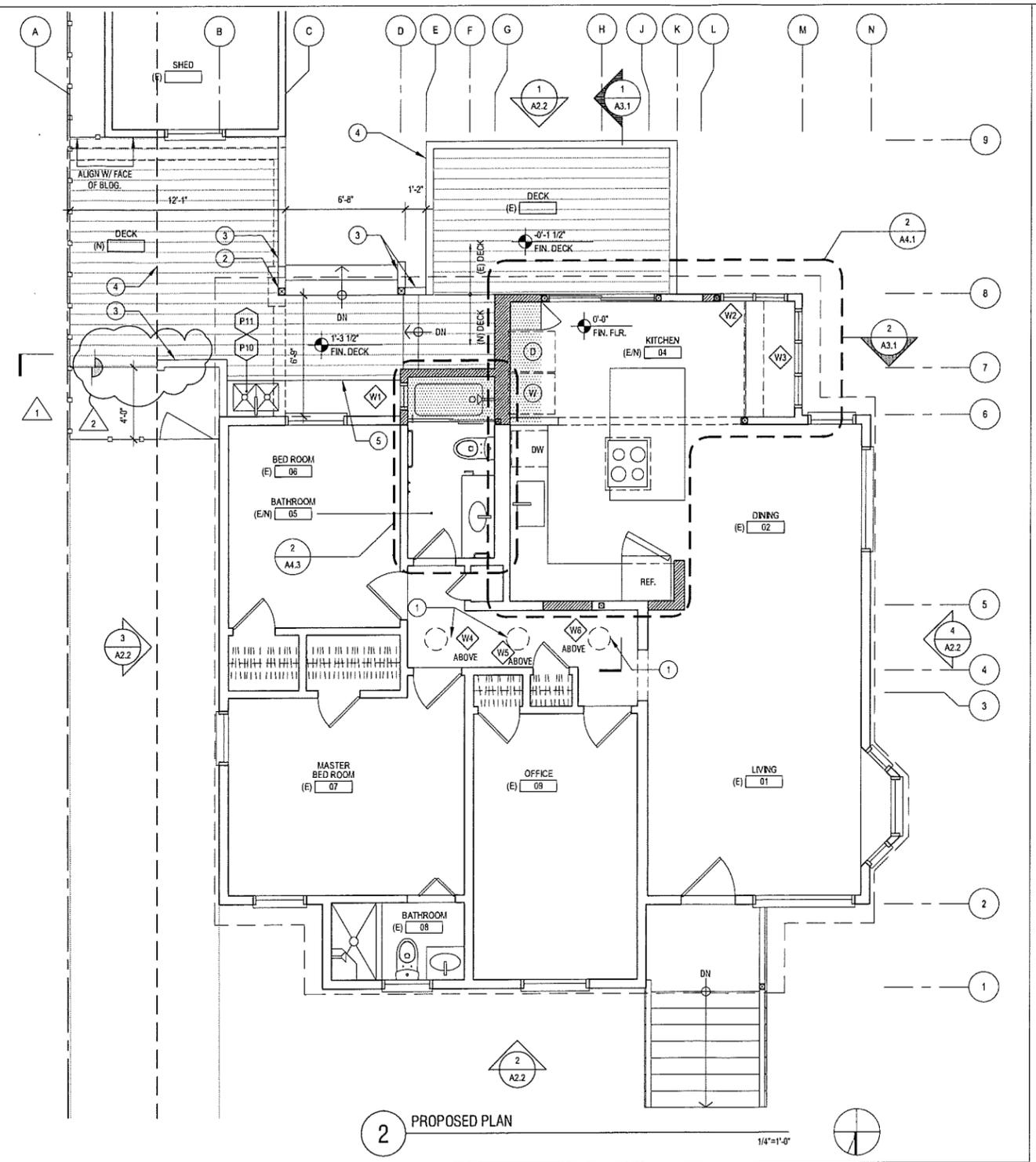
SHEET TITLE  
PROPOSED  
SITE/ROOF PLAN

SHEET NUMBER

A1.0



1 EXISTING/DEMOLITION PLAN



2 PROPOSED PLAN

**GENERAL DEMOLITION NOTES**

- NOT USED

**DEMOLITION KEY NOTES**

1 REMOVE (E) WINDOW	13 SALVAGE (E) APPLIANCE FOR REUSE IN RENOVATION
2 REMOVE (E) DOOR	14 REMOVE (E) DECK ELEMENT INDICATED
3 (E) SLIDING GLASS DOOR TO REMAIN	15 REMOVE (E) PLYWOOD STORAGE AREA
4 (E) CONC. PAD TO REMAIN	16 REMOVE (E) WOOD POST
5 (E) WOOD DECK TO REMAIN	17 (E) WOOD FENCE TO REMAIN
6 REMOVE (E) PORTION OF WALL INDICATED	
7 REMOVE (E) APPLIANCE	
8 REMOVE (E) SINK & FAUCET	
9 REMOVE (E) TUB	
10 REMOVE (E) TOILET	
11 REMOVE (E) BRICK CHIMNEY	
12 REMOVE (E) CABINETRY	

**LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN
	ITEM TO BE REMOVED, U.O.H.
	NEW DOOR
	EXISTING DOOR
	AREA OF (N) ADDITION

**KEY NOTES**

- (N) SKYLIGHT, ABOVE, TYP.
- (N) WOOD POST, S.S.D.
- (N) +36" AFF WOOD RAIL
- (E) SIDEYARD SETBACK LINE: SEE SITEPLAN FOR ADD. INFO.
- (N) 25" DEEP COUNTER

**GENERAL NOTES**

- NOT USED

**SHELTERWERKES**  
 8000 Linderoth Ave., Suite 200  
 El Cerrito, CA 94530  
 (510) 595-3836  
 www.shelterwerkes.com



**STAMP**

LICENSED ARCHITECT  
 HEATHER D. SANDERS, J.D.B.B.  
 C-29638  
 EXPIRES 06-30-17  
 STATE OF CALIFORNIA

**PROJECT**

KITCHEN/BATH  
 RENOVATION/ ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE: 10.06.2016  
 JOB NUMBER: 1420.00  
 PHASE: CONSTRUCTION DOCUMENTS  
 ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**

EXISTING/DEMO  
 PLAN & PROPOSED  
 PLAN

**SHEET NUMBER**

**A1.1**



STAMP



PROJECT

KITCHEN/BATH  
 RENOVATION/ADDITION  
 7302 GLADYS AVENUE  
 EL CERRITO, CA

REVISION DATE

1 08.08.2016

2 10.06.2016

DATE: 10.05.2016

JOB NUMBER: 1420.00

PHASE: CONSTRUCTION DOCUMENTS

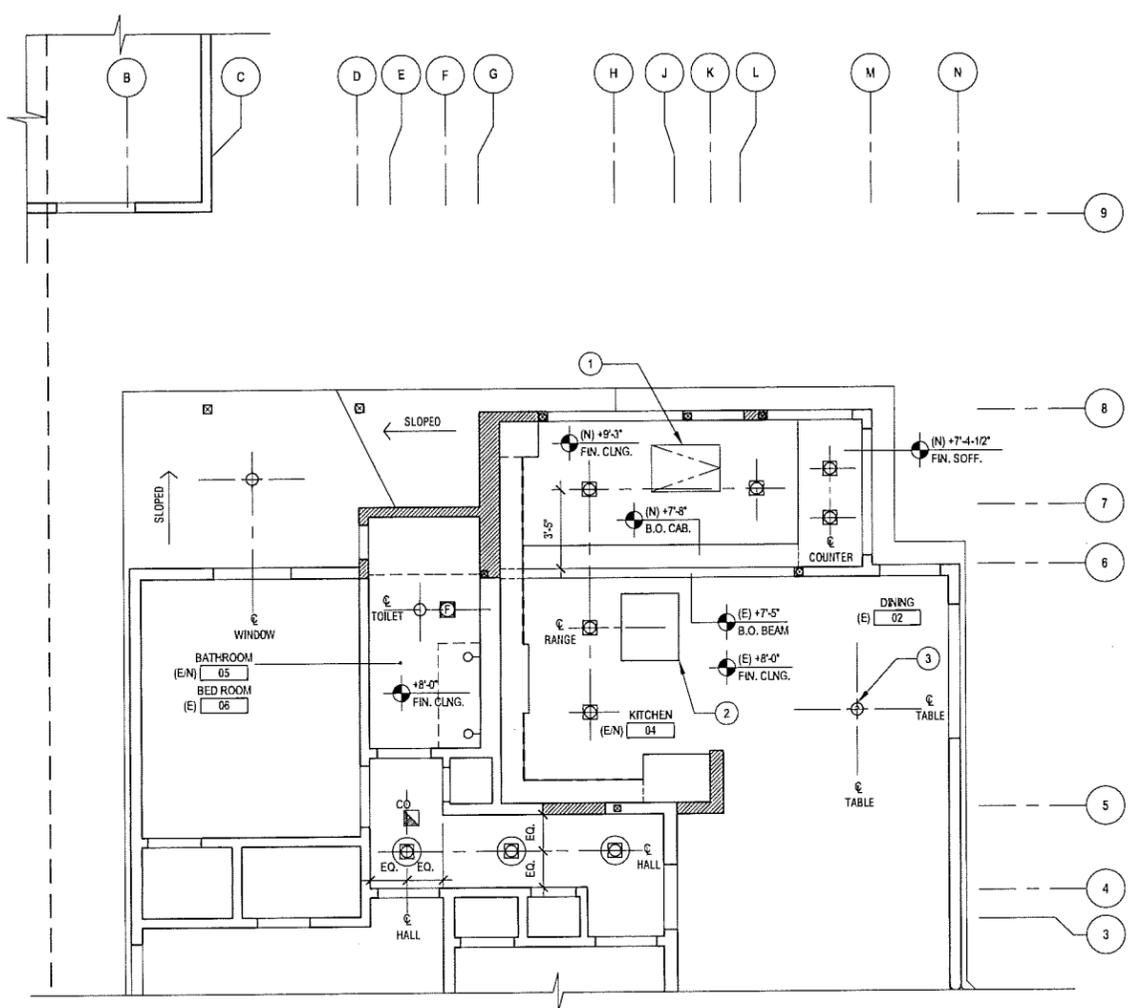
ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

SHEET TITLE

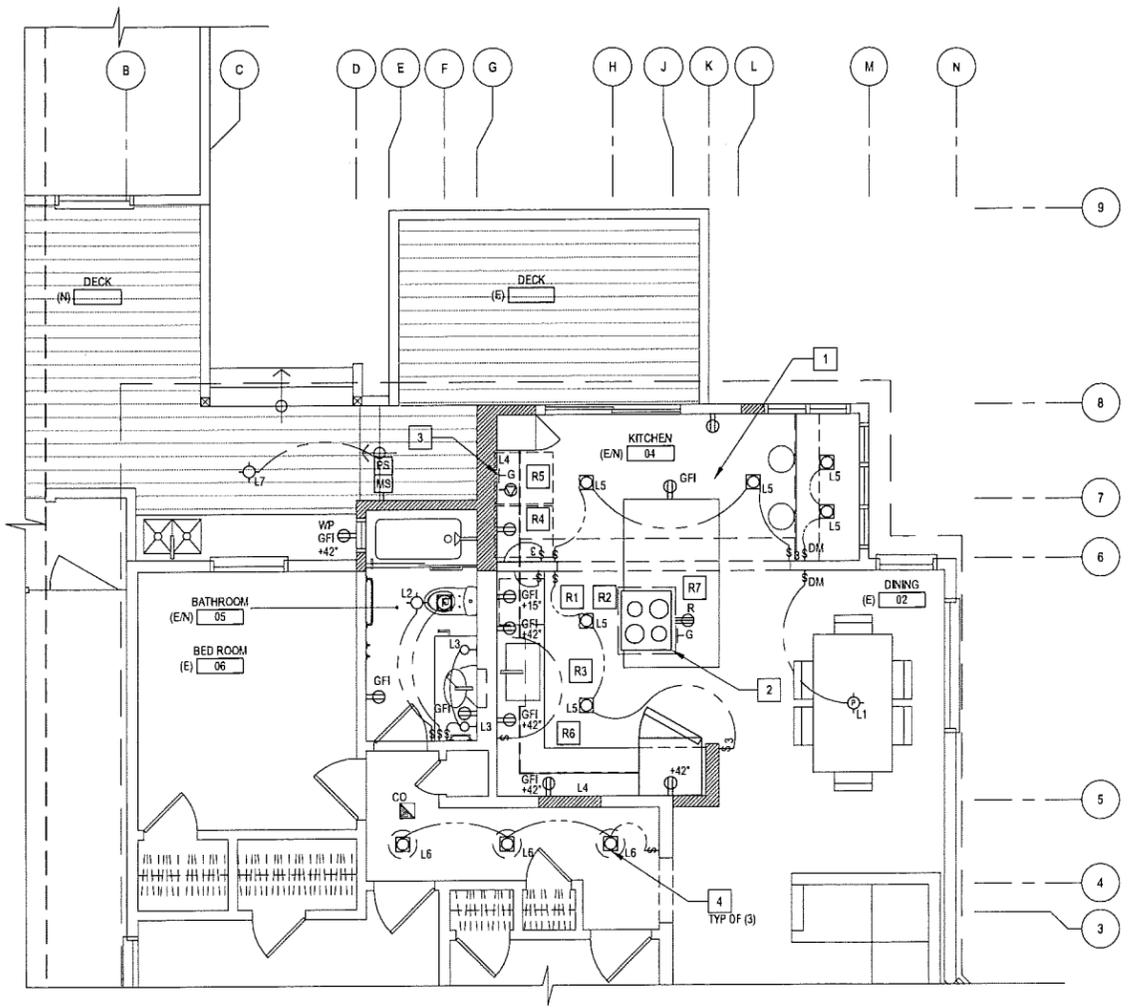
REFLECTED CEILING  
 & POWER PLANS

SHEET NUMBER

A1.2



1 REFLECTED CEILING PLAN  
 1/4"=1'-0"



2 POWER & WIRING PLAN  
 1/4"=1'-0"

REFLECTED CEILING PLAN KEY NOTES

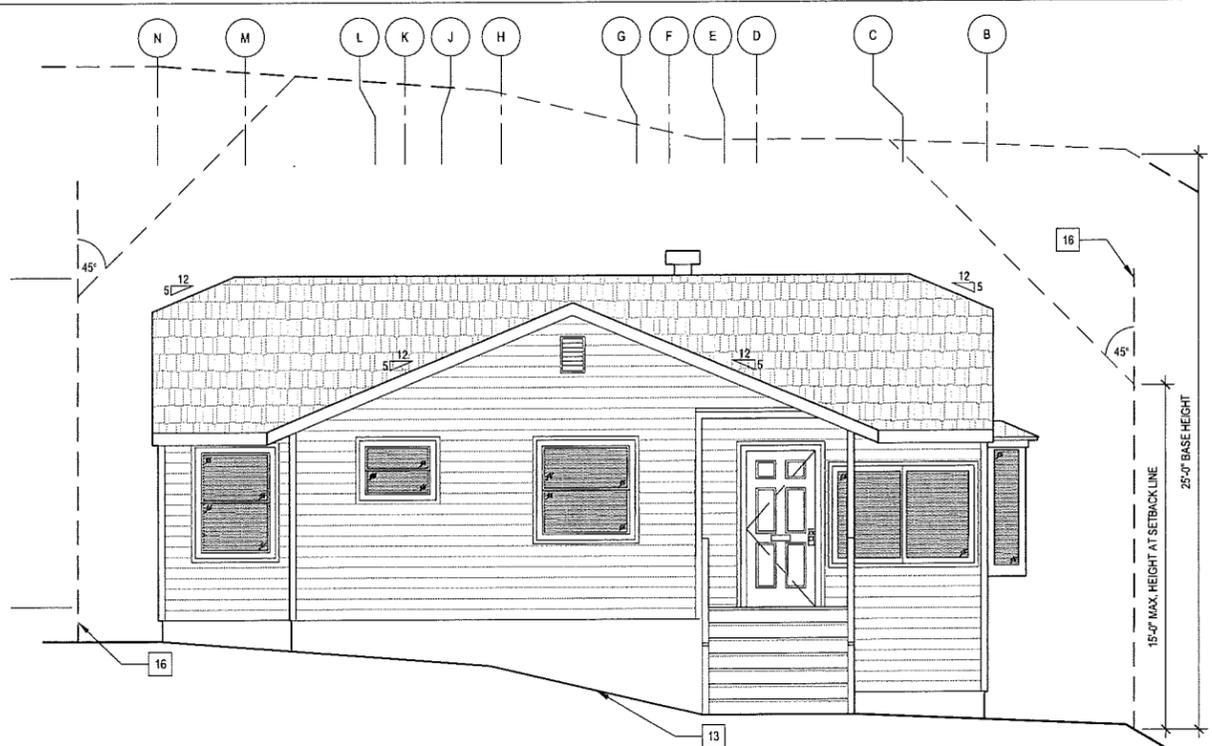
- 1 (N) ACCESS PANEL
- 2 (N) RANGE HOOD

POWER/SWITCHING PLAN KEY NOTES

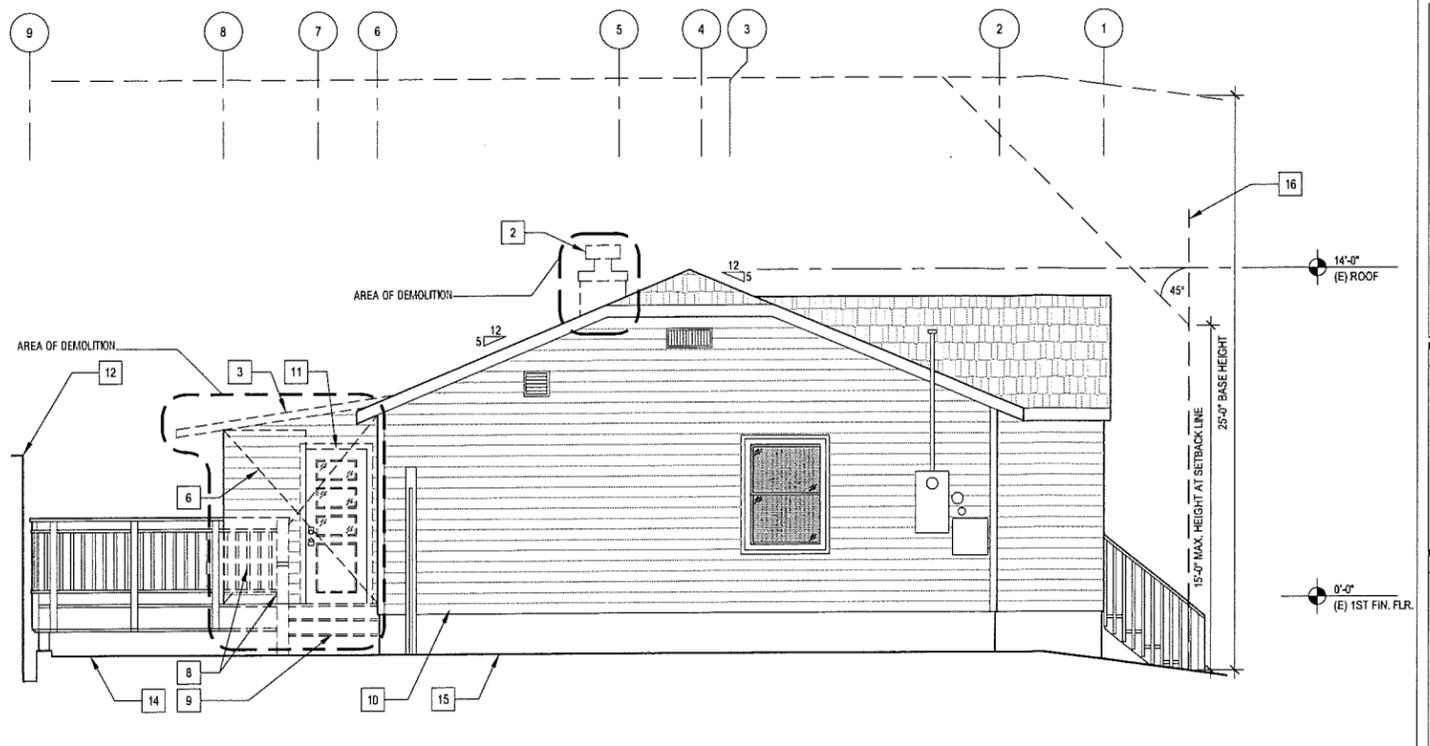
- 1 (N) L8 LIGHT FIXTURE TO BE INSTALLED IN (N) ATTIC & SWITCHED TO MOTION SENSOR; SEE LIGHTING SCHEDULE SHEET A6.2 FOR ADITVL INFO
- 2 VERIFY W/ OWNER GAS OR ELECT. RANGE
- 3 VERIFY W/ OWNER GAS OR ELECT. DRYER
- 4 SOLATUBE DAYLIGHTING UNIT W/ INTEGRAL LED FIXTURE; SEE LIGHTING SCHEDULE A6.2 FOR ADITVL INFO

GENERAL NOTES

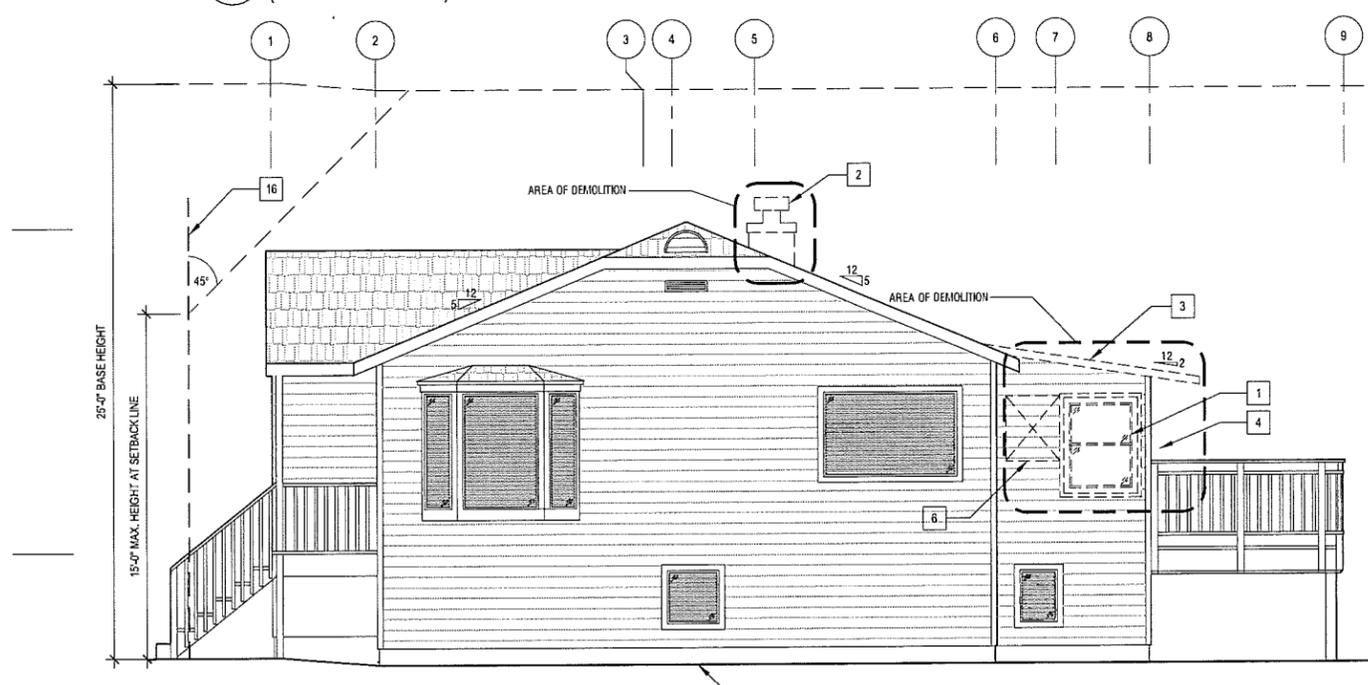
- 1. SMOKE DETECTORS: SMOKE DETECTORS SHALL BE INSTALLED: (A) IN EACH SLEEPING ROOM, (B) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, (C) ON EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- 2. CARBON MONOXIDE ALARMS: INSTALL CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS: (A) OUTSIDE OF THE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S), (B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT.



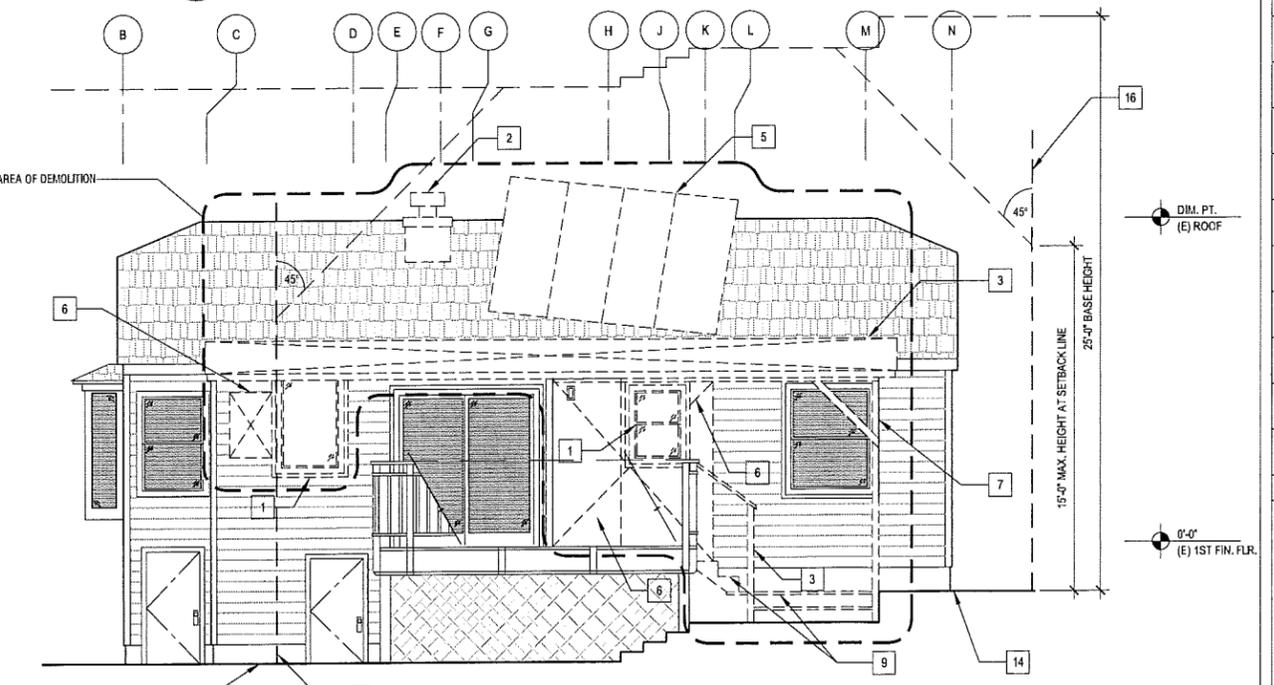
2 NORTH (FRONT) ELEVATION - EXISTING/ NO WORK  
(FOR REFERENCE ONLY)  
1/4"=1'-0"



3 EAST (SIDE) ELEVATION - EXISTING/ DEMOLITION  
1/4"=1'-0"



4 WEST (SIDE) ELEVATION - EXISTING/ DEMOLITION  
1/4"=1'-0"



1 SOUTH (REAR) ELEVATION - EXISTING/ DEMOLITION  
1/4"=1'-0"

**LEGEND**  
--- ITEM TO BE REMOVED, U.O.N.

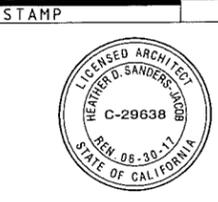
**DEMOLITION KEY NOTES**

- |  |  |                                 |
|--|--|---------------------------------|
| 1 REMOVE (E) WINDOW                                    | 7 REMOVE (E) WOOD POST                         | 13 (E) GRADE TO REMAIN          |
| 2 REMOVE (E) MASONRY CHIMNEY                           | 8 REMOVE (E) PORTION OF DECK RAILING INDICATED | 14 (E) CONC. PAD TO REMAIN      |
| 3 REMOVE (E) PORTION OF ROOF INDICATED                 | 9 REMOVE (E) PORTION OF WOOD DECK INDICATED    | 15 (E) CONC. DRIVEWAY TO REMAIN |
| 4 REMOVE/ RELOCATE (E) DOWNSPOUTS/ RAIN LEADER AS RECD | 10 (E) WOOD FENCE TO REMAIN                    | 16 LINE OF SETBACK              |
| 5 (E) SOLAR PANELS TO BE REMOVED                       | 11 REMOVE (E) DOOR                             |                                 |
| 6 REMOVE (E) PORTION OF WALL INDICATED                 | 12 (E) SHED TO REMAIN                          |                                 |

**GENERAL NOTES**

1. NOT USED

**SHELTERWERKES**  
1639 Telegraph Ave., Ste. 500  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com



**PROJECT**  
KITCHEN/BATH  
RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

REVISION	DATE
1	08.08.2016
2	10.06.2016

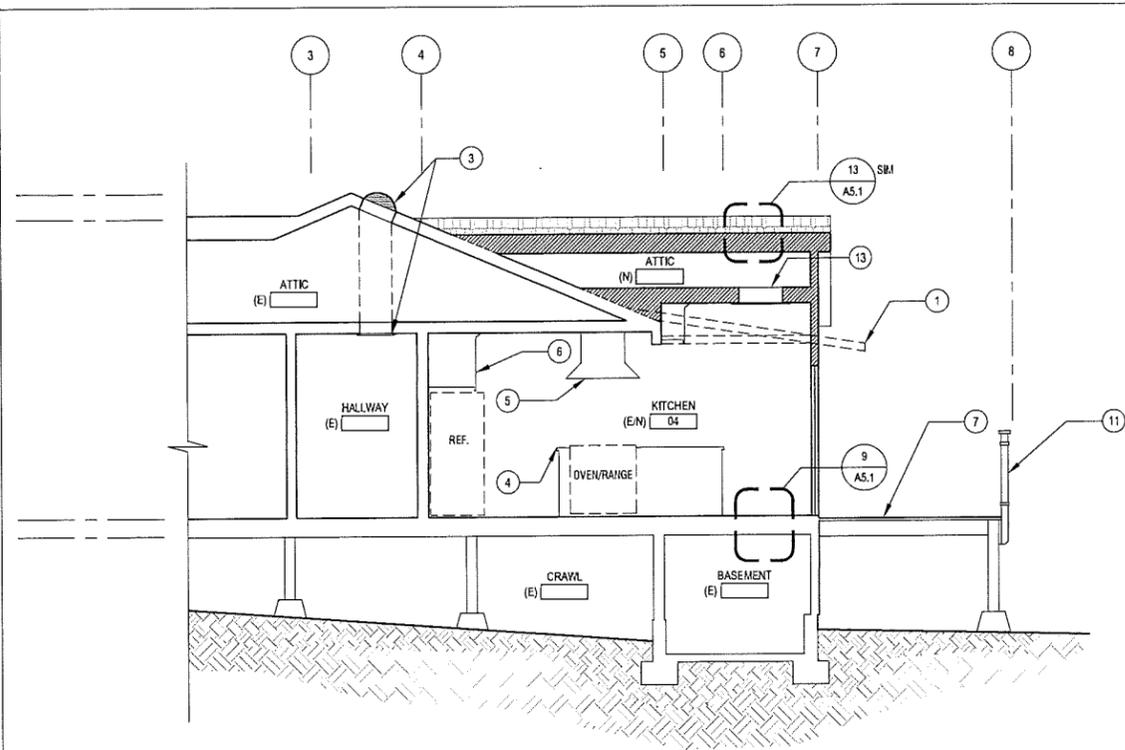
DATE: 10.06.2016  
JOB NUMBER: 1420.00  
PHASE: CONSTRUCTION DOCUMENTS  
ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**  
EXTERIOR  
ELEVATIONS  
(EXISTING/  
DEMOLITION)

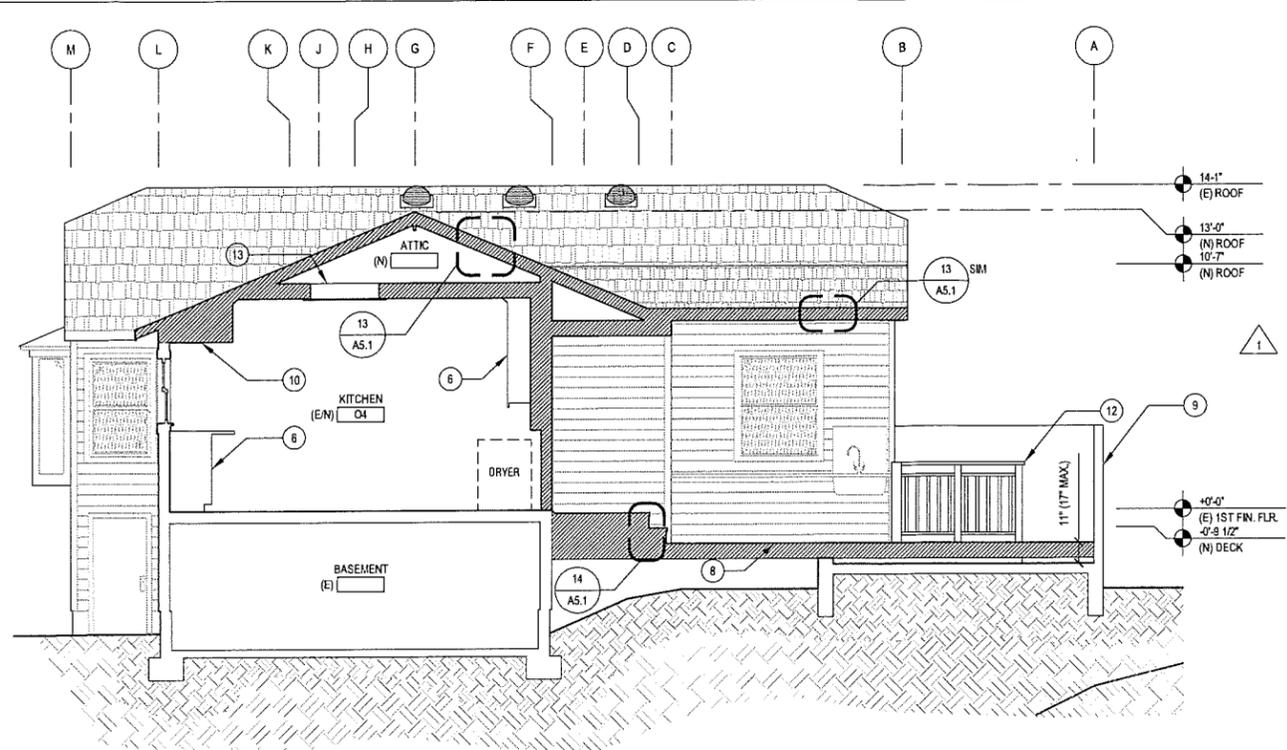
**SHEET NUMBER**

**A2.1**

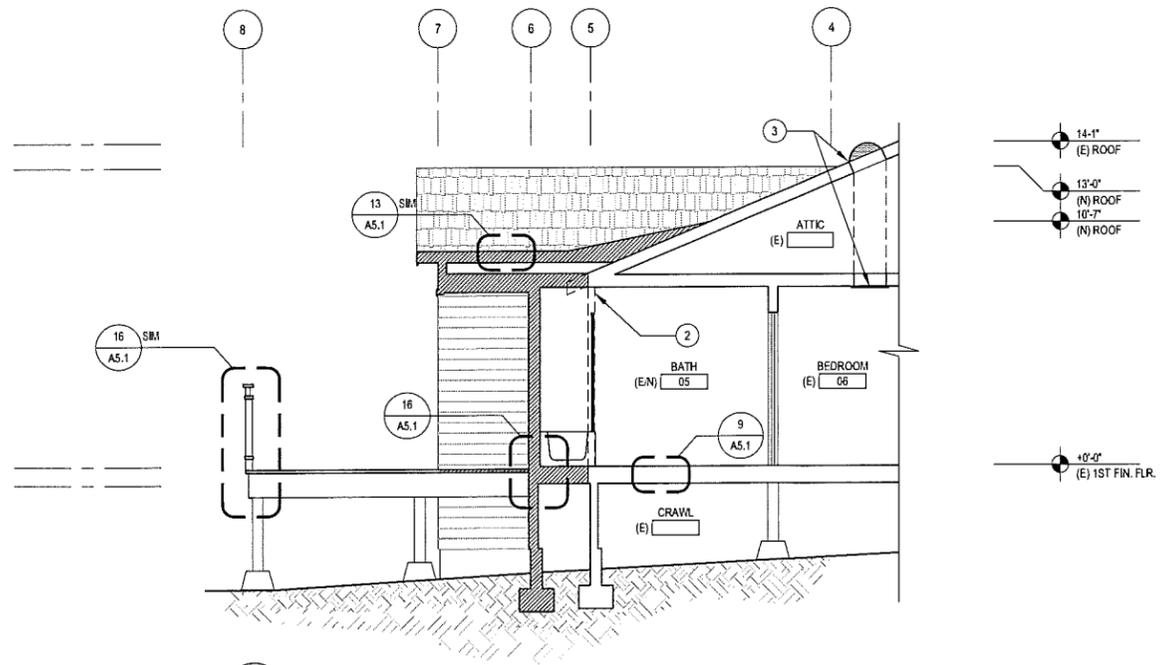




1 BUILDING SECTION  
1/4"=1'-0"



2 BUILDING SECTION  
1/4"=1'-0"



3 BUILDING SECTION  
1/4"=1'-0"

**LEGEND**

- NEW WALL
- EXISTING WALL TO REMAIN
- ITEM TO BE REMOVED

**KEY NOTES**

- 1 LINE OF (E) ROOF TO BE REMOVED
- 2 LINE OF (E) WALL TO BE REMOVED
- 3 "SOLATUBE" SKYLIGHT; SEE RCP, ROOF PLANS & WINDOW SCHEDULE
- 4 KITCHEN ISLAND
- 5 RANGE HOOD
- 6 (N) CABINETS
- 7 (E) DECK
- 8 (N) DECK
- 9 (E) FENCE
- 10 (N) SOFFIT
- 11 (E) WOOD GUARDRAIL
- 12 (N) WOOD GUARDRAIL
- 13 (N) ATTIC ACCESS PANEL. SEE RCP FOR LOCATION DIMENSIONS

**GENERAL NOTES**

1. NOT USED.

**SHELTERWERKES**  
1659 Telegraph Ave. Ste. 500  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com



**STAMP**



**PROJECT**

KITCHEN/BATH  
RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

**REVISION**

REVISION	DATE
1	08.08.2016
2	10.06.2016

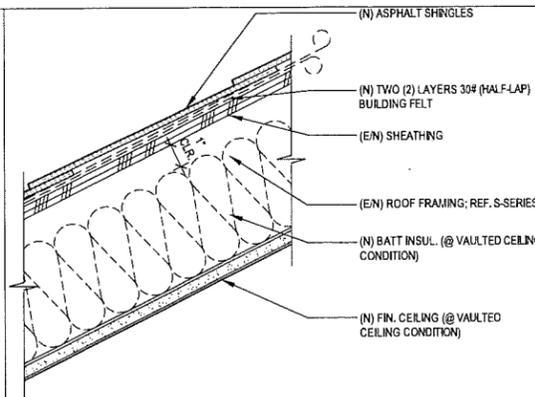
DATE: 10.06.2016  
JOB NUMBER: 1420.00  
PHASE: CONSTRUCTION DOCUMENTS  
ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**

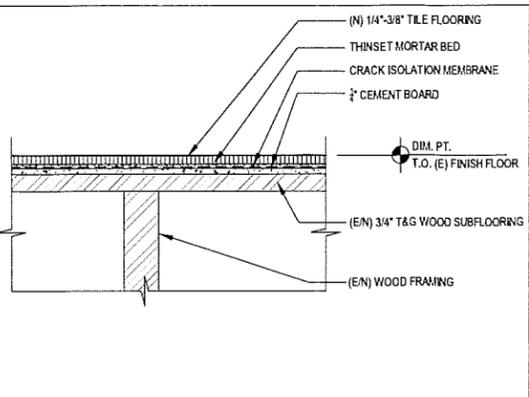
BUILDING SECTIONS

**SHEET NUMBER**

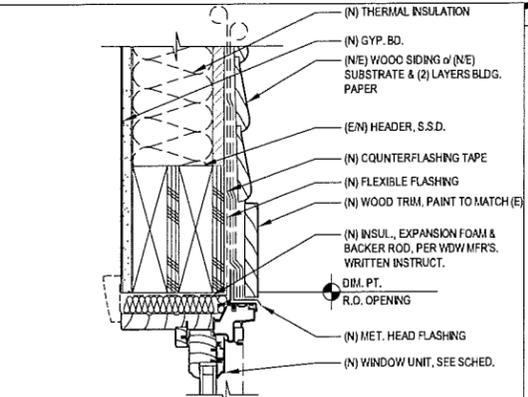
A3.1



**13 ASPHALT SHINGLE ROOF ASSEMBLY SECTION-DETAIL**  
3'-1'-0" ROOF-SECT



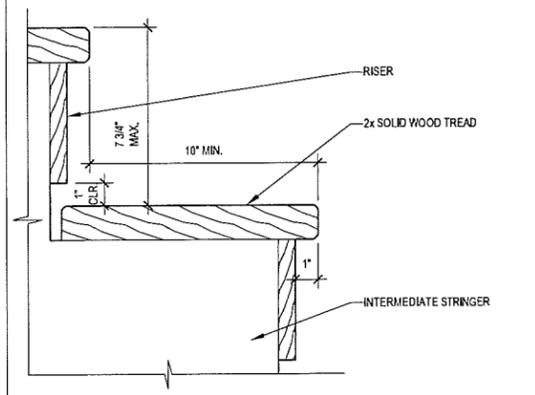
**9 THINSET TILE FLOOR O/ (E/N) FRAMING SECTION-DETAIL**  
3'-1'-0" FLOOR-FRAME-TILE



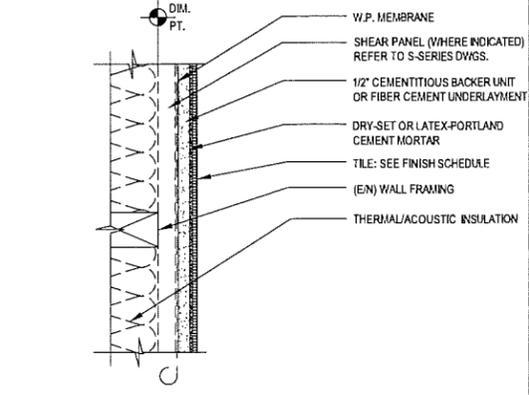
**5 DOUBLE-HUNG WINDOW - HEAD SECTION-DETAIL**  
3'-1'-0" WINDOW-HEAD

**NOTES**

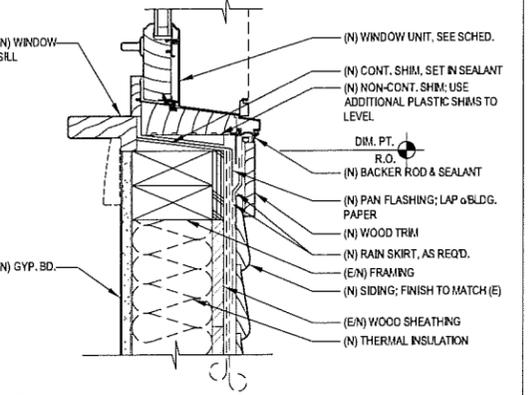
1. MAXIMUM RISER HEIGHT IS 7 1/2 INCHES. MINIMUM TREAD DEPTH IS 10". TREADS WITH A DEPTH LESS THAN 11" MUST HAVE COMPLIANT NOSING. LARGEST TREAD DEPTH OR RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/2" ACROSS THE RUN OF THE STAIRS. TREADS SHALL BE LEVEL (A SLOPE NO GREATER THAN 2% IS PERMITTED). NOSINGS NOT LESS THAN 0.75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS W/ SOLID RISERS
2. HANDRAILS SHALL BE CAPABLE TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.
3. STAIRWAYS HAVING 4 OR MORE RISERS SHALL HAVE AT LEAST 1 HANDRAIL. THE TOP OF THE HANDRAIL SHALL NOT BE LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF THE TREADS. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS AND SHALL PROTRUDE FROM THE ADJOINING SURFACE BY AT LEAST 1 1/2", BUT NO MORE THAN 4 1/2", AND THE ENDS SHALL BE RETURNED OR TERMINATED INTO POSTS. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1-1/2" OR MORE THAN 2".
4. LIGHTING CAPABLE OF ILLUMINATING THE TREADS AND LANDINGS IS REQUIRED AND SHALL BE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING, AND SHALL BE ACTIVATED FROM INSIDE THE DWELLING.
5. STAIRS SHALL HAVE SOLID RISERS OR BE CONSTRUCTED SO THAT A 4" SPHERE CANNOT PASS.
6. ALL EXPOSED WOOD MUST BE APPROVED, TREATED MATERIAL. GRADE STAMPS AND TAGS MUST BE VISIBLE TO THE INSPECTOR AND MUST MEET THE EXPOSURE CRITERIA TO WHICH THEY WILL BE SUBJECTED (ABOVE GROUND, GROUND CONTACT, ETC.). UNTREATED OR LANDSCAPING-TYPE MATERIALS WILL BE REJECTED. CEDAR AND REDWOOD ARE ALSO APPROVED; HOWEVER CEDAR SHALL NOT BE IN DIRECT CONTACT WITH EITHER SOIL OR CONCRETE.
7. OPEN GUARDRAILS ON DECKS MUST HAVE INTERMEDIATE RAILS (BALUSTERS) OR AN ORNAMENTAL PATTERN THAT A 4" SPHERE CANNOT PASS THROUGH. GUARDRAILS ON STAIRS CANNOT HAVE AN OPENING BETWEEN BALUSTERS THAT A 4" SPHERE CAN PASS THROUGH. NOTCHED POSTS SHALL NOT BE USED.
8. FASTENERS, INCLUDING NUTS AND WASHERS SHALL BE OF STAINLESS STEEL, HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, SILICON BRONZE OR COPPER FOR ATTACHMENT TO PRESERVATIVE TREATED WOOD. ASK YOUR MATERIALS SUPPLIER FOR AN APPROVED FASTENER. SCREWS SHALL NOT BE USED TO ATTACH JOIST HANGERS.
9. ALL CONNECTIONS BETWEEN DECK AND DWELLING SHALL BE WEATHERPROOF. ANY CUTS IN THE EXTERIOR FINISH SHALL BE FLASHED.



**14 WOOD STAIR - TYP. RISER/TREAD SECTION-DETAIL**  
3'-1'-0" STAIR-DECK-SECT



**10 INTERIOR THINSET TILE - WET APPLICATION (DRY SIM.) PLAN-DETAIL**  
3'-1'-0" WALL-FR-DRY-SIM



**6 DOUBLE-HUNG WINDOW - SILL SECTION-DETAIL**  
3'-1'-0" WINDOW-SILL

1. MAXIMUM RISER HEIGHT IS 7 1/2 INCHES. MINIMUM TREAD DEPTH IS 10". TREADS WITH A DEPTH LESS THAN 11" MUST HAVE COMPLIANT NOSING. LARGEST TREAD DEPTH OR RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/2" ACROSS THE RUN OF THE STAIRS. TREADS SHALL BE LEVEL (A SLOPE NO GREATER THAN 2% IS PERMITTED). NOSINGS NOT LESS THAN 0.75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS W/ SOLID RISERS

2. HANDRAILS SHALL BE CAPABLE TO WITHSTAND A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL.

3. STAIRWAYS HAVING 4 OR MORE RISERS SHALL HAVE AT LEAST 1 HANDRAIL. THE TOP OF THE HANDRAIL SHALL NOT BE LESS THAN 34" OR MORE THAN 38" ABOVE THE NOSING OF THE TREADS. HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS AND SHALL PROTRUDE FROM THE ADJOINING SURFACE BY AT LEAST 1 1/2", BUT NO MORE THAN 4 1/2", AND THE ENDS SHALL BE RETURNED OR TERMINATED INTO POSTS. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1-1/2" OR MORE THAN 2".

4. LIGHTING CAPABLE OF ILLUMINATING THE TREADS AND LANDINGS IS REQUIRED AND SHALL BE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING, AND SHALL BE ACTIVATED FROM INSIDE THE DWELLING.

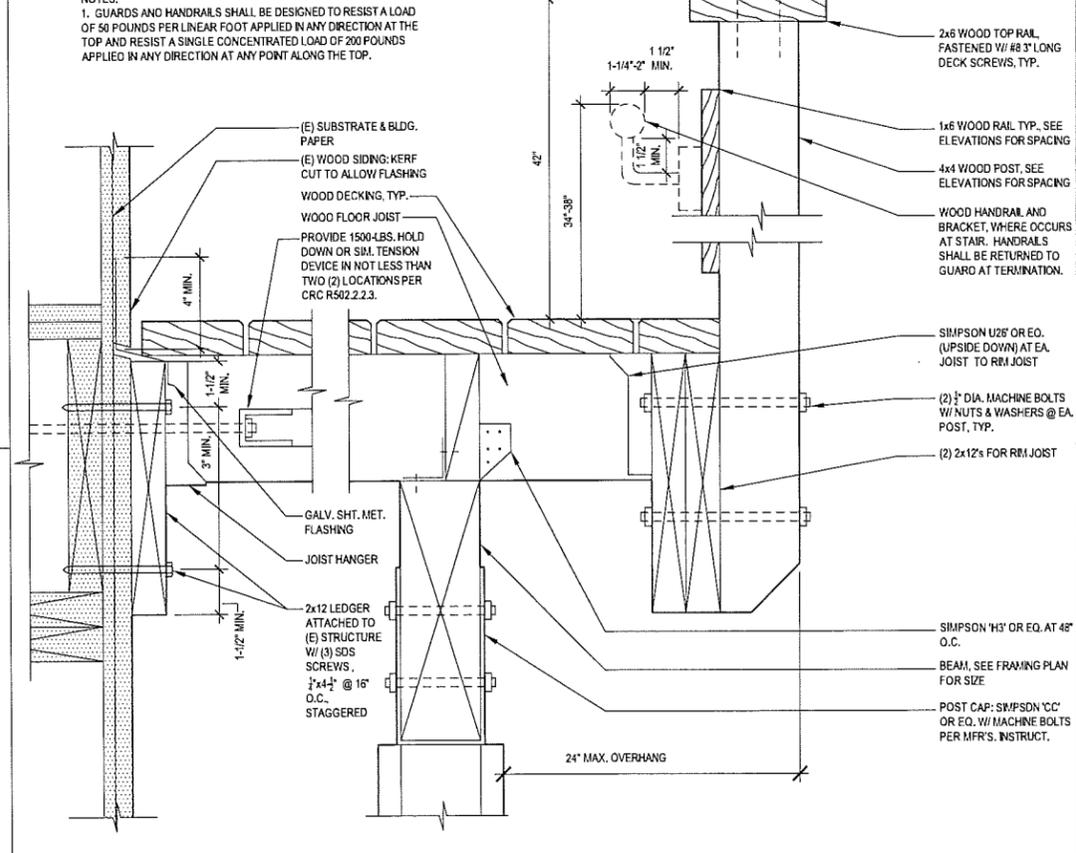
5. STAIRS SHALL HAVE SOLID RISERS OR BE CONSTRUCTED SO THAT A 4" SPHERE CANNOT PASS.

6. ALL EXPOSED WOOD MUST BE APPROVED, TREATED MATERIAL. GRADE STAMPS AND TAGS MUST BE VISIBLE TO THE INSPECTOR AND MUST MEET THE EXPOSURE CRITERIA TO WHICH THEY WILL BE SUBJECTED (ABOVE GROUND, GROUND CONTACT, ETC.). UNTREATED OR LANDSCAPING-TYPE MATERIALS WILL BE REJECTED. CEDAR AND REDWOOD ARE ALSO APPROVED; HOWEVER CEDAR SHALL NOT BE IN DIRECT CONTACT WITH EITHER SOIL OR CONCRETE.

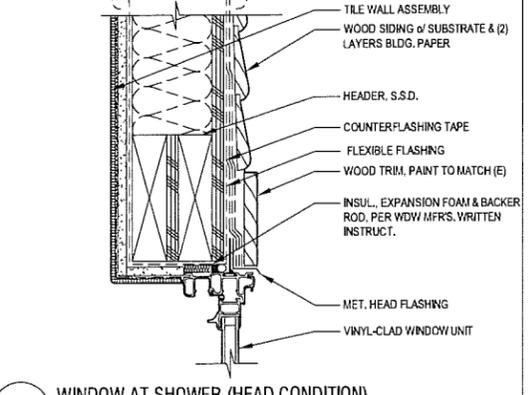
7. OPEN GUARDRAILS ON DECKS MUST HAVE INTERMEDIATE RAILS (BALUSTERS) OR AN ORNAMENTAL PATTERN THAT A 4" SPHERE CANNOT PASS THROUGH. GUARDRAILS ON STAIRS CANNOT HAVE AN OPENING BETWEEN BALUSTERS THAT A 4" SPHERE CAN PASS THROUGH. NOTCHED POSTS SHALL NOT BE USED.

8. FASTENERS, INCLUDING NUTS AND WASHERS SHALL BE OF STAINLESS STEEL, HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, SILICON BRONZE OR COPPER FOR ATTACHMENT TO PRESERVATIVE TREATED WOOD. ASK YOUR MATERIALS SUPPLIER FOR AN APPROVED FASTENER. SCREWS SHALL NOT BE USED TO ATTACH JOIST HANGERS.

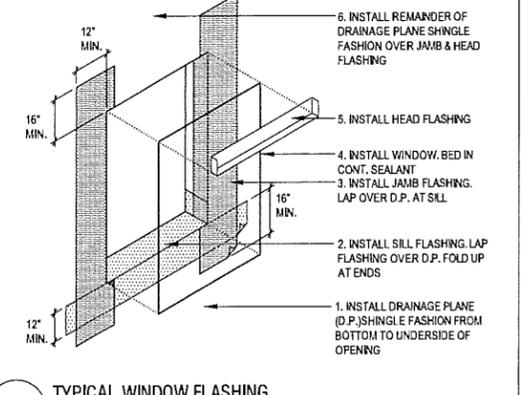
9. ALL CONNECTIONS BETWEEN DECK AND DWELLING SHALL BE WEATHERPROOF. ANY CUTS IN THE EXTERIOR FINISH SHALL BE FLASHED.



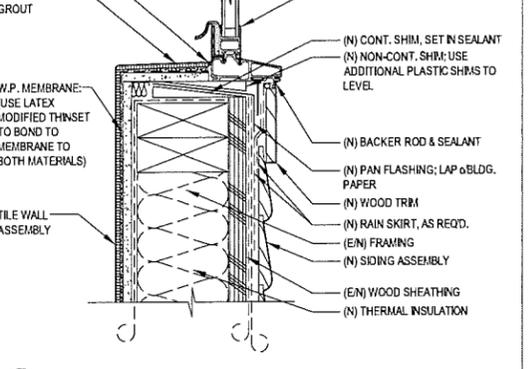
**16 SECTION THROUGH DECK (GUARD/HANDRAIL ATTACHMENT @ STAIR, SIM.)**  
3'-1'-0" SECT-DECK



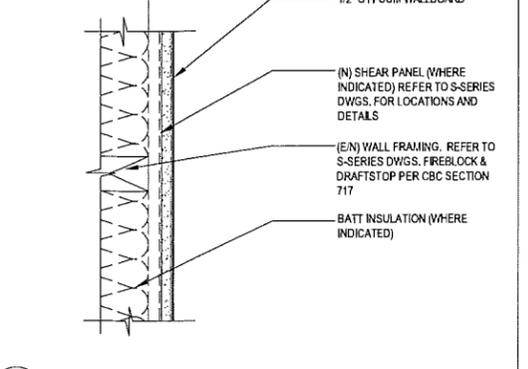
**7 WINDOW AT SHOWER (HEAD CONDITION) SECTION-DETAIL**  
3'-1'-0" WINDOW-HEAD-TILE



**3 TYPICAL WINDOW FLASHING**  
N.T.S. WINDOW-FLASH



**8 WINDOW AT SHOWER (SILL CONDITION) SECTION-DETAIL**  
3'-1'-0" WINDOW-SILL-TILE



**4 INTERIOR GYPSUM BOARD WALL PLAN-DETAIL**  
3'-1'-0" WALL-FR-GPBD

**SHELTERWERKES**  
15377 Canyon Blvd., Suite 500  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com

**STAMP**

**PROJECT**

KITCHEN/BATH RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

REVISION	DATE
1	08.08.2016
2	10.06.2016

DATE:	10.06.2016
JOB NUMBER:	1420.00
PHASE:	CONSTRUCTION DOCUMENTS
ISSUED FOR:	PERMIT/ CONSTRUCTION- REV. 2

**SHEET TITLE**

**DETAILS**

**SHEET NUMBER**

**A5.1**

WINDOW SCHEDULE

MARK	TYPE	MATERIAL	FINISH	PRODUCT		WINDOW ELEVATION	SIZE (TO ROOM OPENING U.O.N.)			GLAZING TYPE	NOTES
				MFR.	PRODUCT		WIDTH	HEIGHT	DEPTH		
W1	DOUBLE HUNG	TBD	PT	TBD	TBD	WE 1	1'-5"	2'-5"	4-9/16"	SG, OGT	①
W2	DOUBLE HUNG X2	TBD	PT	TBD	TBD	WE 1	3'-5"	2'-10"	4-9/16"	IG	
W3	DOUBLE HUNG X3	TBD	PT	TBD	TBD	WE 2	5'-6"	2'-10"	4-9/16"	IG	
W4	DAYLIGHTING UNIT	TBD	TBD	SOLATUBE	SMART LED S160SL	N/A	0'-10"	5'-4"	N/A	N/A	③
W5	DAYLIGHTING UNIT	TBD	TBD	SOLATUBE	SMART LED S160SL	N/A	0'-10"	5'-4"	N/A	N/A	③
W6	DAYLIGHTING UNIT	TBD	TBD	SOLATUBE	SMART LED S160SL	N/A	0'-10"	5'-4"	N/A	N/A	③

WINDOW SCHEDULE LEGEND

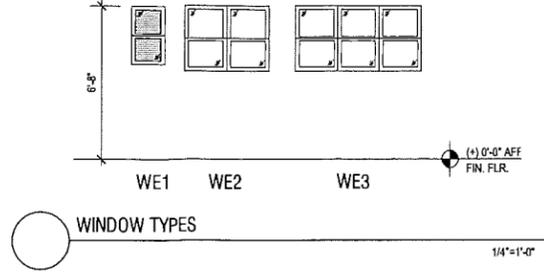
- IG INSULATING LOW E GLASS
- SG TEMPERED SAFETY GLAZING
- OGT OBSCURE GLASS

WINDOW SCHEDULE KEY NOTES

- ① ETCHED GLASS: SUBMIT FOR OWNER REVIEW PRIOR TO ORDER
- ② NDT USED
- ③ INTEGRATED LED LIGHT IN DAYLIGHTING UNIT

WINDOW SCHEDULE GENERAL NOTES

- INSTALL WINDOWS PER MANUFACTURER'S INSTRUCTIONS AS REQUIRED FOR A WEATHER-TIGHT INSTALLATION. SHIM AND INSULATE WINDOW UNIT, TYP.
- ALL WINDOW SIZES AND DIMENSIONS TO BE VERIFIED IN FIELD, TYP.
- ALL SAFETY GLAZING SHALL HAVE PERMANENTLY AFFIXED 'BUG' OR LOG IDENTIFYING THE PIECE AS SAFETY GLASS.
- SEE INT. ELEVATIONS & FINISH SCHEDULE FOR SASH AND TRIM COLOR.



PLUMBING FIXTURES

TAG	DESCRIPTION	LOCATION	MFR.	MODEL NO.	FINISH/COLOR	QTY.	NOTES
P1	SINK	KITCHEN	TBD	TBD	TBD	1	
P2	FAUCET	KITCHEN	TBD	TBD	TBD	1	
P3	TUB	BATH	TBD	TBD	TBD	1	
P4	TUB/SHOWER SET	BATH	TBD	TBD	TBD	1	
P5	THERMOSTATIC VALVE TRIM	BATH	TBD	TBD	TBD	1	
P6	TUB DRAIN	BATH	TBD	TBD	TBD	1	
P7	TOILET & SOFT CLOSE SEATCOVER	BATH	TBD	TBD	TBD	1	
P8	SINK	BATH	TBD	TBD	TBD	1	
P9	FAUCET	BATH	TBD	TBD	TBD	1	
P10	SINK	EXTERIOR DECK	TBD	TBD	TBD	1	
P11	FAUCET	EXTERIOR DECK	TBD	TBD	TBD	1	

PLUMBING FIXTURE GENERAL NOTES

- REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES, PER 2013 CALGREEN 301.1.1
- ALL PLUMBING FIXTURES THAT PROVIDE WATER FOR HUMAN CONSUMPTION SHALL COMPLY WITH LOW-LEAD/NO-LEAD REQUIREMENTS SET FORTH IN AB-1953.
- ALL PLUMBING FIXTURES SHALL BE OWNER-FURNISHED AND CONTRACTOR INSTALLED, U.O.N. CONTRACTOR SHALL VERIFY PLUMBING FIXTURE SELECTIONS AND COORDINATE PROVISION AND INSTALLATION OF FIXTURE WITH OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- PROVIDE ALL INSTALLATION KITS, ROUGH-INS AND ANY ADDITIONAL PLUMBING ITEMS TO MAKE ALL PLUMBING FIXTURES CODE COMPLIANT OPERATIONAL DEVICES.
- PROVIDE CLEAN-OUTS AS REQUIRED PER C.P.C. .
- ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK-ACTING VALVES ARE INSTALLED (I.E. CLOTHES WASHER OR DISHWASHER, ETC.) SHALL BE PROVIDED WITH DEVICES TO ABSORB THE HAMMER CAUSED BY HIGH-PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES. THESE PRESSURE-ABSORBING DEVICES SHALL BE APPROVED MECHANICAL DEVICES.

- THE PLUMBING FIXTURE AND FIXTURE FITTINGS FOR THE PROJECT SHALL REDUCE THE OVERALL USE OF POTABLE WATER WITHIN THE BUILDING BY AT LEAST 20% PER CALGREEN SECTION 4.303.1. THE REDUCTION SHALL BE DEMONSTRATED BY THE PRESCRIPTIVE METHOD: EACH PLUMBING FIXTURE AND FITTING SHALL NOT EXCEED THE MAXIMUM FLOW RATE AT ≥ 20% REDUCTION COLUMN IN TABLE 4.303.2
- SHOWERS AND TUB/SHOWER SHALL BE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS, PER CPC SEC. 408.3.
- KITCHEN FAUCET SHALL HAVE A MAX. FLOW RATE NOT TO EXCEED 1.8 GALLONS/MINUTE (MEASURED AT 60 PSI), PER CPC SEC. 403.6.
- THE FLOW RATE OF WATER CLOSET SHALL BE 1.28 GALLONS/FLUSH MAX., PER CPC 403.2.1.
- BATHROOM LAVATORY FAUCETS SHALL HAVE A MAX. FLOW RATE NOT EXCEEDING 1.5 GALLONS/MINUTE AT 80 PSI, AND NOT LESS THAN 0.8 GALLS PER MINUTE AT 20 PSI, PER CPC 403.7.
- SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 1.5 GALLONS/MINUTE (MEASURED AT 80 PSI), PER CPC SEC. 408.2.

PLUMBING FIXTURE KEY NOTES

- ① NOT USED

BATH ACCESSORIES

TAG	DESCRIPTION	LOCATION	MFR.	MODEL NO.	FINISH	QTY.	NOTES
A-1	24" TOWEL BAR	BATHROOM	TBD	TBD	TBD	1	
A-2	ROBE HOOKS	BATHROOM	TBD	TBD	TBD	2	
A-3	TISSUE PAPER HOLDER	BATHROOM	TBD	TBD	TBD	1	
A-4	SHOWER DOOR HANDLE	BATHROOM	TBD	TBD	TBD	1	
A-5	SHOWER DOOR SLIDING HARDWARE	BATHROOM	TBD	TBD	TBD	1	
A-6	MED. CABINET	BATHROOM	TBD	TBD	TBD	1	
A-7	HAND TOWEL BAR/ RING	BATHROOM	TBD	TBD	TBD	1	

BATH ACCESSORY GENERAL NOTES

- PROVIDE SOLID BLDCKING AT ALL WALL-MOUNTED ACCESSORIES.
- ALL ACCESSORIES SHALL BE OWNER-FURNISHED AND CONTRACTOR INSTALLED, U.O.N. CONTRACTOR SHALL VERIFY SELECTIONS WHERE PRACTICABLE- AND COORDINATE PROVISION AND INSTALLATION OF ACCESSORY WITH OWNER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

BATH ACCESSORY KEY NOTES

- ① NOT USED

SHELTERWERKES  
15811 MacArthur Blvd  
Oakland, CA 94612  
(510) 595-3836  
www.shelterwerkes.com



STAMP



PROJECT

KITCHEN/BATH  
RENOVATION/ ADDITION  
7302 GLADYS AVENUE  
EL CERRITO, CA

REVISION DATE

REVISION	DATE
①	08.08.2016
②	10.06.2016

DATE: 10.06.2016  
JOB NUMBER: 1420.00  
PHASE: CONSTRUCTION DOCUMENTS  
ISSUED FOR: PERMIT/ CONSTRUCTION- REV. 2

SHEET TITLE

SCHEDULES  
(WINDOW, PLUMB.  
FIXT. &  
BATH ACC.)

SHEET NUMBER

A6.1

